



TOWN OF OCEAN CITY

The White Marlin Capital of the World

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DIANA L. CHAVIS, MMC

BOARD OF ZONING APPEALS AGENDA

Thursday, March 14, 2024

6:00 p.m.

Meetings are held in the Council Chambers of City Hall located at 301 Baltimore Avenue, Ocean City, Maryland.

I. Administrative Matters

Minutes

- a. Approval of the minutes from the February 28, 2024 special meeting

II. Public Hearings

at 6:00 PM

Pursuant to the provisions of Section 110-93(3), Powers of the Code, an appeal of Section 110-95(1)(a) has been filed to request (1) a variance of 3.4 feet from the 5-foot rear yard setback requirement for a proposed pool; and (2) a variance of 2 feet from the 6-foot height maximum for a proposed fence to exist at 8 feet in height. The site of the appeal is described as Lot 78 of the Caine Keys II Plat. It is further described as being located on the west side of Shifting Sands Drive and is locally known as 10609 Shifting Sands Drive, in the Town of Ocean City, Maryland.

APPLICANT: JASON MILLER (BZA 2678 #24-0950001)

at 6:10 PM

Pursuant to the provisions of Sections 110-93(2) and 110-93(3), Powers of the Code, an appeal of Sections 110-94(3)(a), 110-95(1)(a), and 110-94(2)(b) has been filed to request (1) a special yard exception to allow for an additional two stories to exist 7.5 feet in the front yard setback; and (2) a variance to allow for a roof to exist within the 10-foot front yard setback and to be 3.83 feet from the side lot line; and (3) a special parking exception to allow for 8 parking spaces to be in a tandem stacked configuration; and (4) a special parking exception from design standards to reduce the required 9' X 20' parking spaces to accommodate two 6 inch encroachments for support columns. Pursuant to Section 110-98, the applicant has also requested that an approval be valid for three (3) years. The site of the appeal is described as Lots 7 and 8, Block 7, of the Sinexpent Beach Plat. It is further described as being located on northwest corner of 6th Street and Atlantic Avenue, the Boardwalk, and is locally known as 601 and 605 Atlantic Avenue, in the Town of Ocean City, Maryland.

APPLICANT: JOSEPH E. MOORE, ESQ. ATTY FOR 601 ATLANTIC, LLC, 605 ATLANTIC, LLC, AND SAS PARTNERSHIP, LLC (BZA 2679 #24-0940003)

AT 6:20 PM

Pursuant to the provisions of Section 110-93(2), Powers of the Code, an appeal of Section 110-94(2)(b) has been filed to request (1) a special parking exception to waive 2 parking spaces of the required 10 parking spaces; and (2) for the 8 remaining parking spaces to be 9' X 18' rather than 9' X 20', as required by Code. The site of the appeal is described as Lot 242 of the Caine Harbor Mile, Ocean City, Worcester County, Maryland, Section 1 Plat. It is further described as being located on the northwest corner of Coastal Highway and Newport Bay Drive and is locally known as 11651 Coastal Highway, in the Town of Ocean City, Maryland.

APPLICANT: JDACAI OCEAN CITY, LLC ATTN: DAVE EYNON (BZA 2680 #24-0940004)

**BOARD OF ZONING APPEALS
MINUTES
TOWN OF OCEAN CITY, MAYRLAND**

**Special Meeting of
Wednesday, February 28, 2024**

ATTENDEES:

Members

Christopher Rudolf, Chair
John Moran
Emily Nock
Dan Stevens
Brian Shane

Staff

Chase Phillips, Zoning Analyst
Kay Gordy, Zoning Administrator
George Bendler, AICP, Director
Maureen Howarth, Board's Attorney

The meeting was called to order at 6:00 p.m. This meeting occurred over Zoom and did not take place in the Council Chambers at City Hall. This was specified on the agenda and advertised as such in a legal advertisement that ran in the local newspaper.

6:00 PM

I. Administrative Matters

Minutes

a. The Board reviewed the minutes from the January 11, 2024 meeting.

Motion/ John Moran **Second/** Brian Shane to approve the minutes from the January 11, 2024 meeting. The motion passed unanimously (4-0-1) with one abstention from Emily Nock.

b. The Board reviewed the minutes from the February 8, 2024 meeting.

Motion/ John Moran **Second/** Brian to approved the minutes from the February 8, 2024 meeting. The motion passed unanimously (3-0-2), with two abstentions from Brian Shane and Dan Stevens.

II. Administrative Matters

Findings of Fact

a. The Board reviewed the Findings of Fact for BZA 2668 – BK Merchandising, Inc.

Motion/ John Moran **Second/** Dan Stevens to approve the Findings of Fact for BZA 2668 – BK Merchandising, Inc. The motion passed unanimously (4-0-1), with one abstention from Brian Shane.

b. The Board reviewed the Findings of Fact for BZA 2673 Olympic I Apartments, LLC.

Motion/ Dan Stevens **Second/** John Moran to approve the Findings of Fact for BZA 2673 Olympic I Apartments. The motion passed unanimously (3-0-2), with two abstentions from Emily Nock and Brian Shane.

- c. The Board reviewed the Findings of Fact for BZA 2671 Nick's Golf, LLC.
Motion/ Brian Shane **Second/** John Moran to approved the Findings of Fact for BZA 2671. The motion passed unanimously (4-0-1), with one abstention from Emily Nock.
- d. The Board reviewed the Findings of Fact for BZA 2672 Kristina L. Watkowski for Jerry D. Ford.
Motion/ Brian Shane **Second/** Dan Stevens to approve the Findings of Fact for Kristina L. Waktkowski for Jerry D. Ford. The motion passed unanimously (4-0-1), with one abstention from Emily Nock.
- e. The Board reviewed the Findings of Fact for BZA 2673 Kristina L. Watkowski for the Mauck Family Trust.
Motion/ John Moran **Second/** Brian Shane to approve the Findings of Fact for Kristina L. Watkowski for the Mauck Family Trust. The motion passed unanimously (4-0-1), with one abstention from Emily Nock.
- f. The Board reviewed the Findings of Fact for BZA 2674 Kristina L. Watkowski for the Sheila S. Withers Revocable Trust.
Motion/ Dan Stevens **Second/** Brian Shane to approve the Findings of Fact for Kristina L. Watkowski for the Mauck Family Trust.
- g. The Board reviewed the Findings of Fact for BZA 2677 Keith Hollander.
Motion/ Emily Nock **Second/** John Moran to approved the Findings of Fact for BZA 2677 Keith Hollander. The motion passed unanimously (3-0-2), with two abstentions from Brian Shane and Dan Stevens.
- h. The Board reviewed the new application form for Board of Zoning Appeals.
Motion/ Brian Shane **Second/** John Moran to approve the use of the new application form. The motion passed unanimously (5-0-0).

Chairman Christopher Rudolf then entertained a motion to adjourn.

Motion/ Emily Nock Second/ John Moran to close the special meeting for February 28, 2024. The motion passed unanimously (5-0-0).

Approval of Minutes

Christopher Rudolf, Chairman

Date



STAFF REPORT

DATE: March 14, 2024

TO: Board of Zoning Appeals

FROM: George Bendler, AICP, Planning & Zoning Director
Karen J. (Kay) Gordy, Zoning Administrator
Chase Phillips, Zoning Analyst

RE: Requests for variances to the minimum yard requirements for a proposed pool in the rear yard setback and a proposed fence to be 8 feet in the required rear and side yards instead of a maximum 6 feet as allowed by Code.
BZA 2678 (24-09500001)

Applicant: Jason Miller
2923 Merryman's Mill Road
Phoenix, Maryland 21131

Subject Property: 10609 Shifting Sands Drive
Ocean City, Maryland 21842

Request: The applicant has requested two variances. The first is a variance of 3.4 feet from the 5-foot rear yard setback for a proposed pool to be 1.6 feet from the rear property line. The second request is a variance to allow an 8' fence in the rear and side yards instead of a maximum 6' as allowed by Code. (**Applicant Exhibit #1**)

Property Description: The property is described as Lot 78 of the Caine Keys II Ext. Plat. It is located on the west side of Shifting Sands Drive and is locally known as 10609 Shifting Sands Drive in the Town of Ocean City, Maryland. (**Staff Exhibit #1**)

Zoning: Single Family Residential District (R-1)

Project History: The proposed pool is a replacement of an existing pool that also existed within the rear yard setback. The pool is a part of a larger project to replace the deck, repair culvert issues in the side yard, and bulkhead replacement. (Staff Exhibit #2)

Relevant Code References:

1. Ocean City Code – Chapter 110

Article II, Division 4, Board of Zoning Appeals

Section 110-93 (Powers of the Board of the Zoning Appeals)

(3) To hear and decide and decide on applications for variances upon which the Board is specifically authorized to pass under this chapter.

2. Ocean City Code – Chapter 110

Article II, Division 4, Board of Zoning Appeals

Section 110-95 (Variances)

(1)(a) The Board shall have the power to grant variances to minimum yard requirements.

3. Ocean City Code – Chapter 110

Article V, Division 2, Height, Area, and Bulk Regulations

Section 110-905 (Yards and Open Spaces Generally)

- Ground level swimming pools, open and unenclosed, not less than 5 feet from a front, side, or rear lot line.
- Fences not more than six feet in height above ground in the required side or rear yard.

4. Maryland Land Use Code Article 4-206 – Variances

Courts in Maryland have recognized a two-part test to determine whether a variance should be granted. The deciding authority asks, first, whether the subject property is “unique” compared to neighboring properties such that the zoning provision affects the subject property disproportionately; and, second, whether a “practical difficulty” or unnecessary hardship” results from that uniqueness.

A. Uniqueness or Peculiarity

- Whereby reason of the exceptional narrowness, shallowness, or unusual shape of a specific property, or by reason of exceptional topographic conditions or other extraordinary situations or special conditions of property the literal enforcement would make it exceptionally difficult to comply.
- The uniqueness, then, must have a nexus with the aspect of the zoning law from which a variance is sought.
 - a. Investigate unusual features of the property.
 - b. Investigate surrounding properties to see if they share the same unusual features.

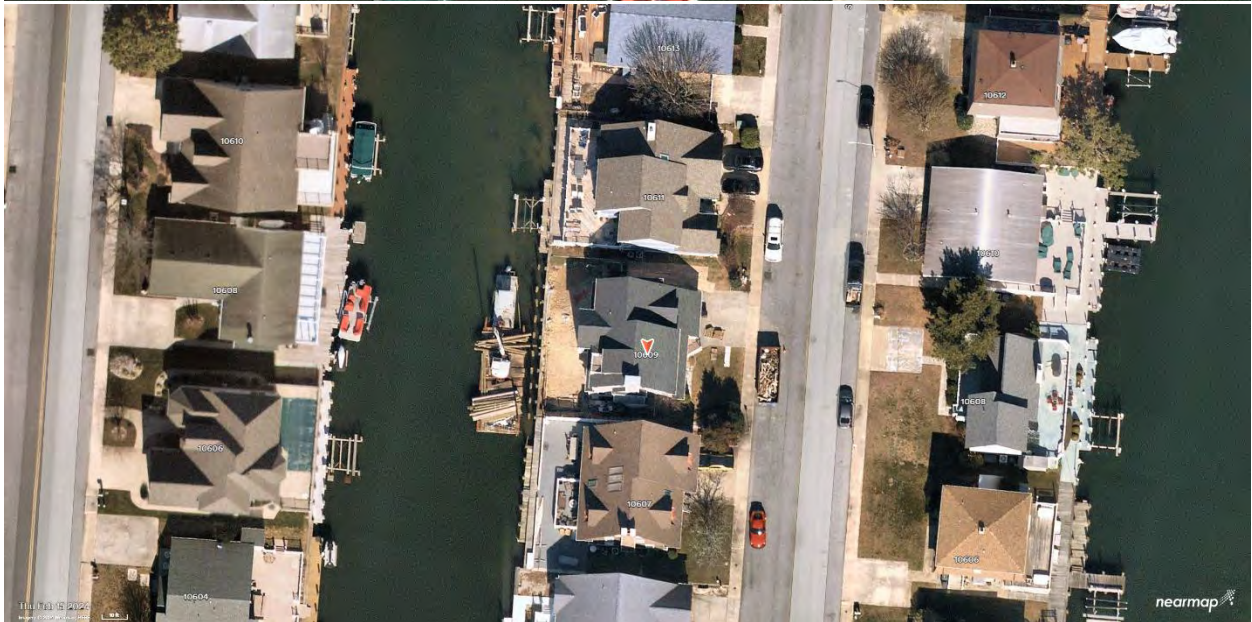
B. Practical Difficulty

- Whether compliance with the strict letter of restrictions governing area, setbacks, frontage, height, bulk, or density would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.
- Whether the variance applied for would do substantial justice to the applicant as well as to other property owners in the district, or whether a lesser relaxation than that applied for would give substantial relief to the owner of the property involved and be more consistent with justice to other property owners.
- Whether relief can be granted in such fashion that the spirit of the ordinance will be observed, and public safety and welfare secured.
- Not because of any action taken by the applicant.
- Not contrary to public interest.

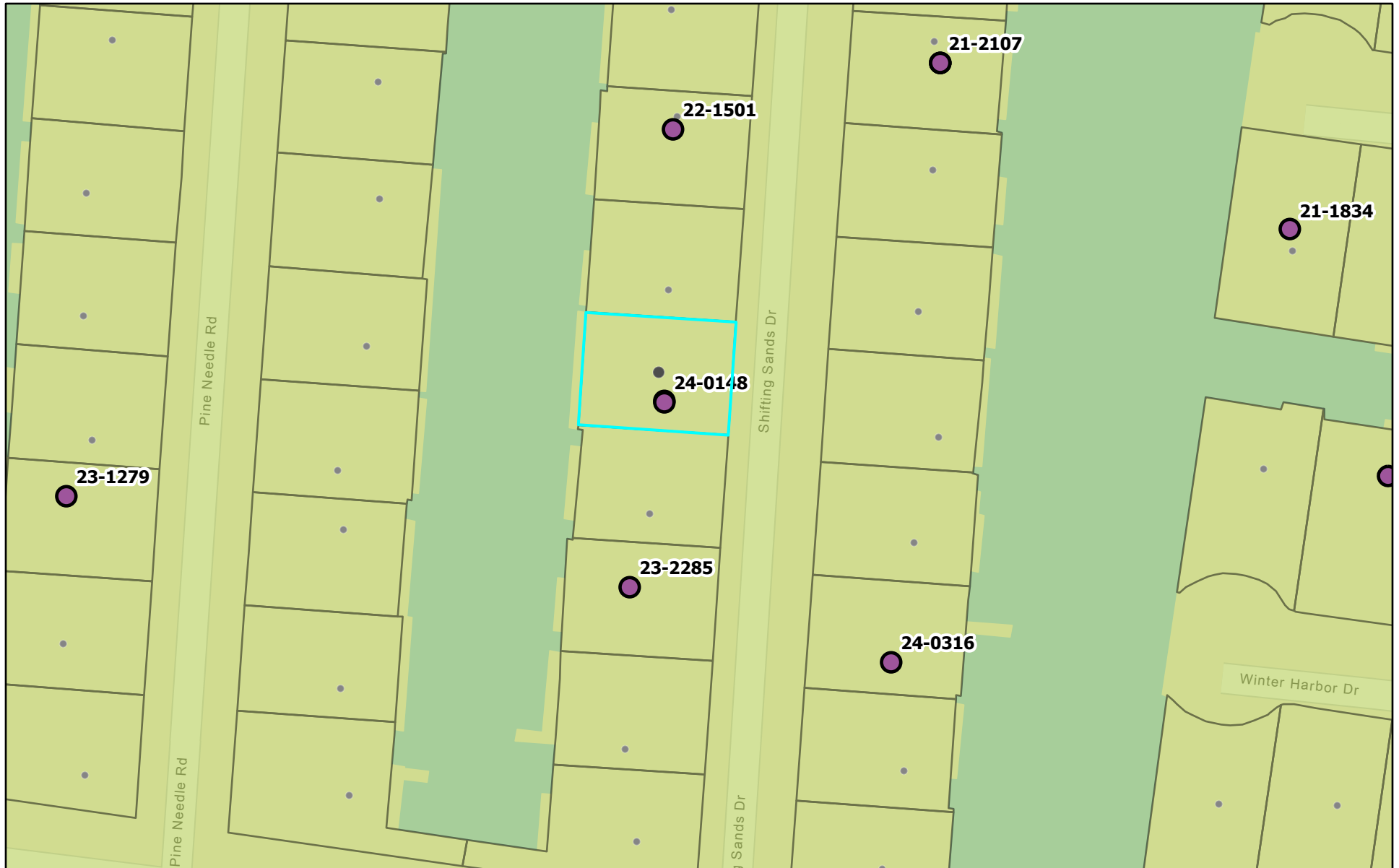
Public Comment: As of March 7, 2024, The Department of Planning and Community Development has received one letter of comment. (Staff Exhibit #3)

Staff Recommendation: Staff respectfully ask that the Board carefully review the application materials and staff report, accept testimony from the applicant and any persons who come forward to testify, then weigh the evidence and craft the decision including findings of fact with advice from the Board attorney for these requests:

- a. A request for a variance of 3.4 feet from the 5-foot rear yard setback for a proposed pool to exist 1.6 feet from the rear lot line.
- b. A request for a variance to allow for an 8-foot fence to be within the side and rear yards.



10609 Shifting Sands Drive



3/7/2024, 10:46:17 AM

Active Building Permits



TOC_Parcels_

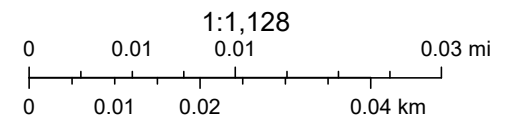
Zoning



Issued



R-1

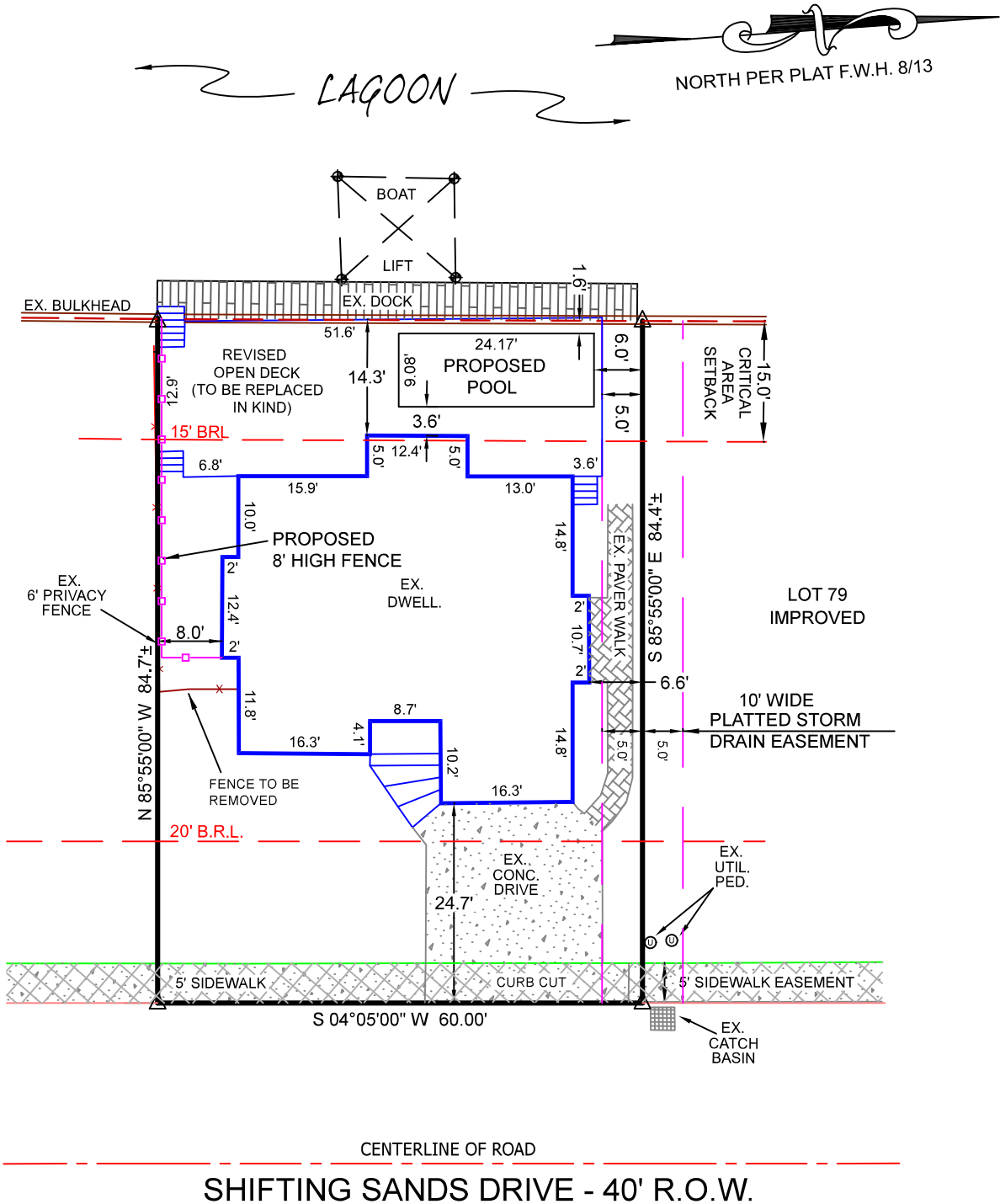


Esri Community Maps Contributors, Town of Ocean City, MD, VGIN, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph,

Department of Planning & Community Development
Town of Ocean City, MD

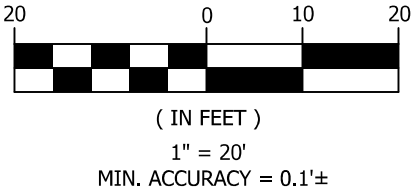
RUSSELL T. HAMMOND SURVEYING L.L.C. RESERVES ITS COMMON LAW COPYRIGHT IN THESE PLANS, PLATS, OR OTHER DOCUMENTS. ANY AMENDMENTS, COPYING OR DISTRIBUTION, INCLUDING COMPUTER GENERATED AMENDMENTS, IS PROHIBITED UNLESS PERMITTED IN WRITING BY RUSSELL T. HAMMOND SURVEYING L.L.C.

NOTE: THIS PLAT REFLECTS THE DESCRIPTION OF THE LOT/PARCEL AS NOTED IN THE TITLE OF THIS PLAT, AS SHOWN ON THE RECORD PLAT AND DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS OF WAY OR EASEMENTS PERTAINING TO THIS PROPERTY OTHER THAN THOSE AS SHOWN ON SAID RECORD PLAT. NO TITLE SEARCH OR COVENANTS PROVIDED OR STIPULATED.



SITE PLAN
LOT 78 - CAINE KEYS II EXTENDED
TOWN OF OCEAN CITY
TENTH TAX DISTRICT
WORCESTER COUNTY, MARYLAND

GENERAL NOTES:
ADDRESS: 10609 SHIFTING SANDS DRIVE
DEED REF: S.R.B. 7599/331
PLAT REF: F.W.H. 8/13
TAX MAP 116, PARCEL 1687A
LOT AREA: 5,070 S.F.±
EX. ZONING: R-1
ZONING SETBACKS:
FRONT: 20', REAR: 15'
SIDES: MIN. 5', TOTAL 15'
FLOOD ZONE: AE (EL 5')
PER FRIM NO. 245207 0062 H
DATED JULY 16, 2015.
CRITICAL AREA DESIGNATION: IDA
CRITICAL AREA SETBACK: 15'



RUSSELL T. HAMMOND
Surveying, L.L.C.

SURVEYING - LAND PLANNING
10310 Hotel Road Bishopville, MD 21813
(410) 352-5674 - (410) 726-8076

DRAWN BY B. BATTY
FILE NO. 2024-3548
DATE 01/26/2024

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 21329, EXPIRATION DATE 1/08/2023.

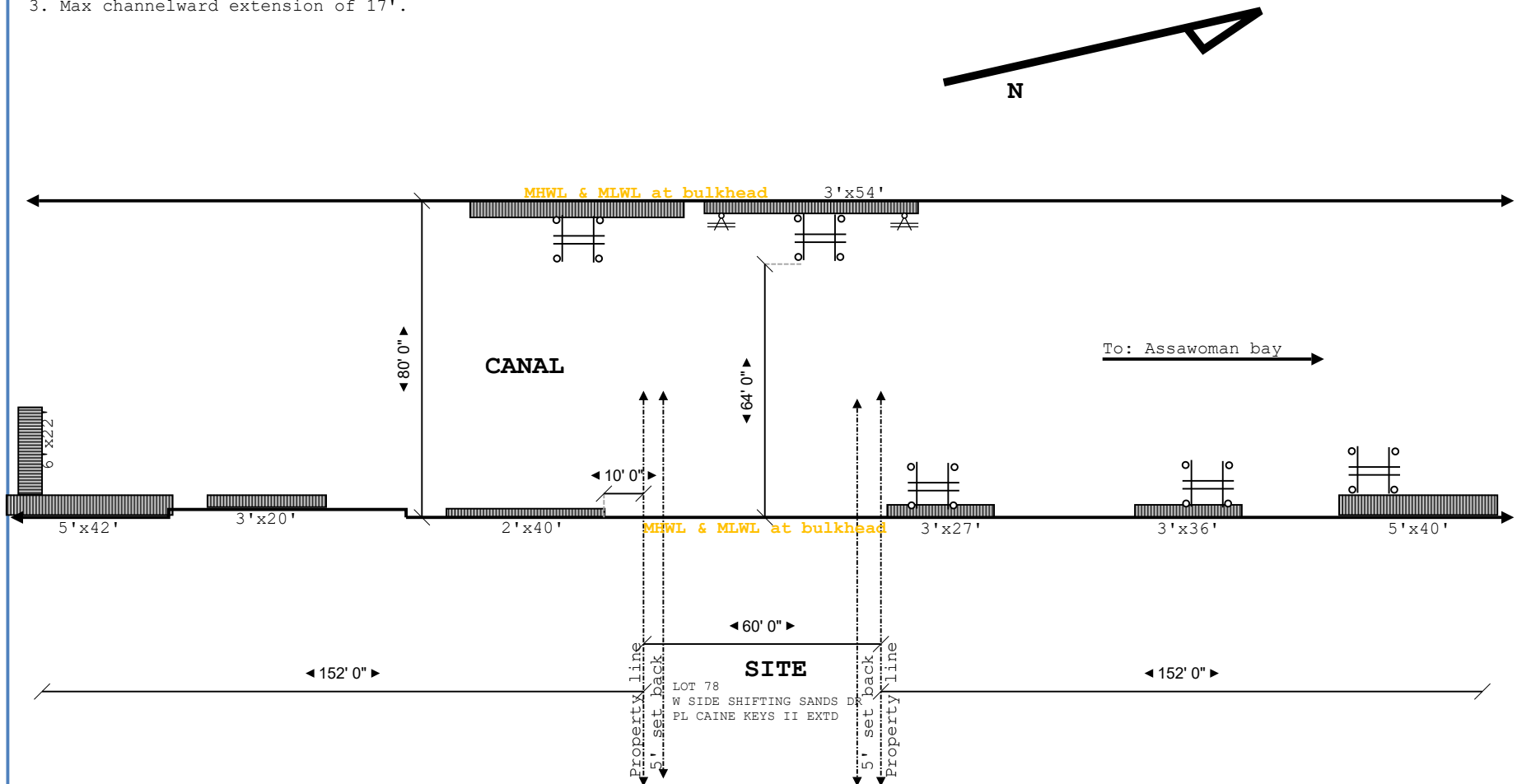
SCOPE

Install 65' of replacement bulkhead, a 3.5' x 50' parallel platform, a 4' x 5' float, a 3' x 4' staircase down into the water, and one (1) boat lift with all associated poles. Maximum channel ward extension of 17'.

NOTES

1. There are no known SAV beds in the area.
2. The soundings were taken on 4/26/23.
3. Max channelward extension of 17'.

REVISÉD 7/10/23



| | | | | |
|---|-----------------------------|----------------------------|--------------------------|---|
| Site: 10609 Shifting Sands Drive, OC MD | Drawing: 1 | Project: Miller | Drawn: Carouge | Notes: Hidden Oak Farm, LLC |
| Title: EXISTING CONDITIONS | Scale: 1/4":10'0" | Date: 04/27/2023 | Rev: A | |

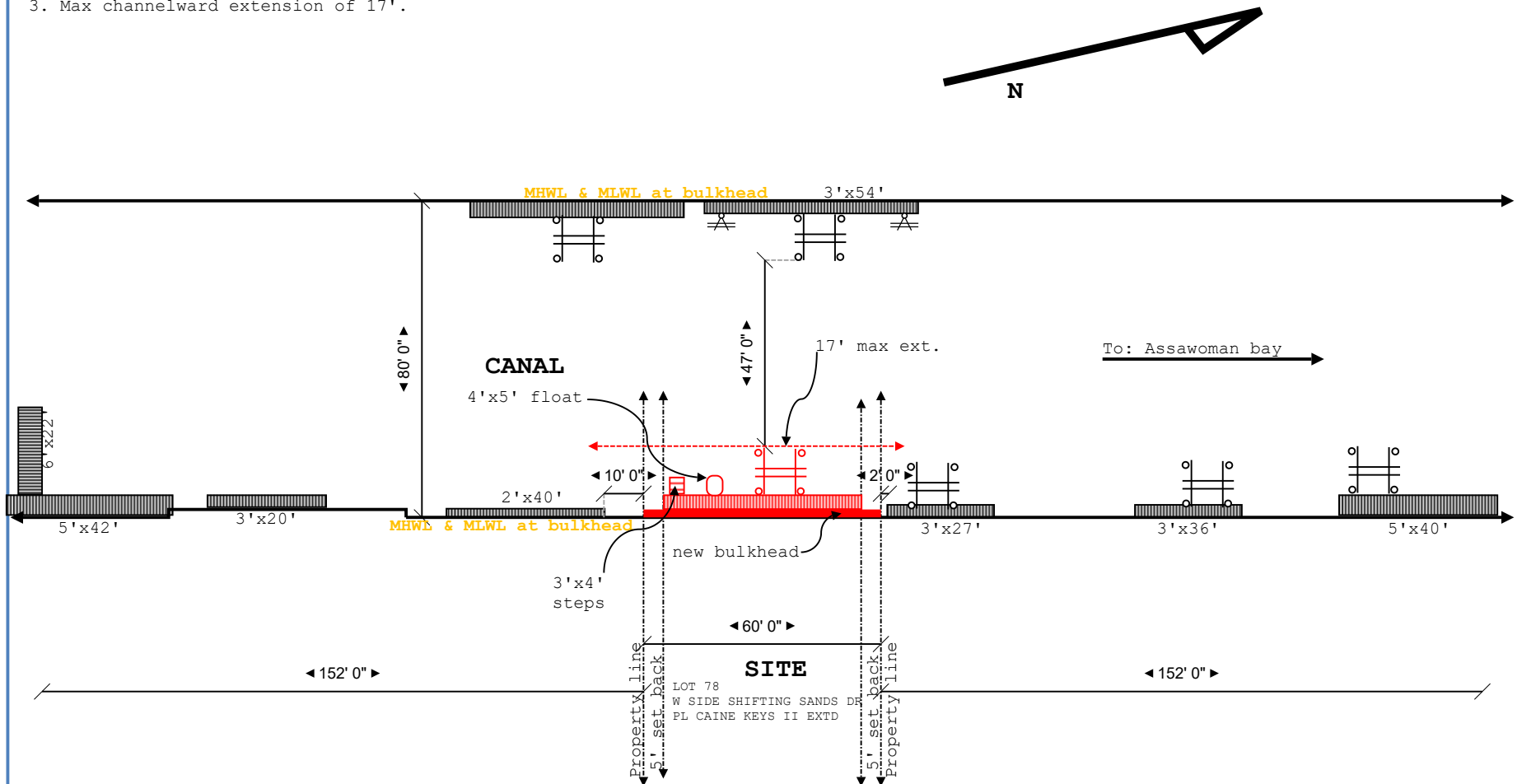
SCOPE

Install 65' of replacement bulkhead, a 3.5' x 50' parallel platform, a 4' x 5' float, a 3' x 4' staircase down into the water, and one (1) boat lift with all associated poles. Maximum channel ward extension of 17'.

REVISED 7/10/23

NOTES

1. There are no known SAV beds in the area.
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| | | | | | | | | | |
|--------|-----------------------------------|----------|---------------|----------|------------|--------|---------|--------|----------------------|
| Site: | 10609 Shifting Sands Drive, OC MD | Drawing: | 1 | Project: | Miller | Drawn: | Carouge | Notes: | Hidden Oak Farm, LLC |
| Title: | PROPOSED CONDITIONS | Scale: | 1/4" : 10' 0" | Date: | 04/27/2023 | Rev: | A | | |

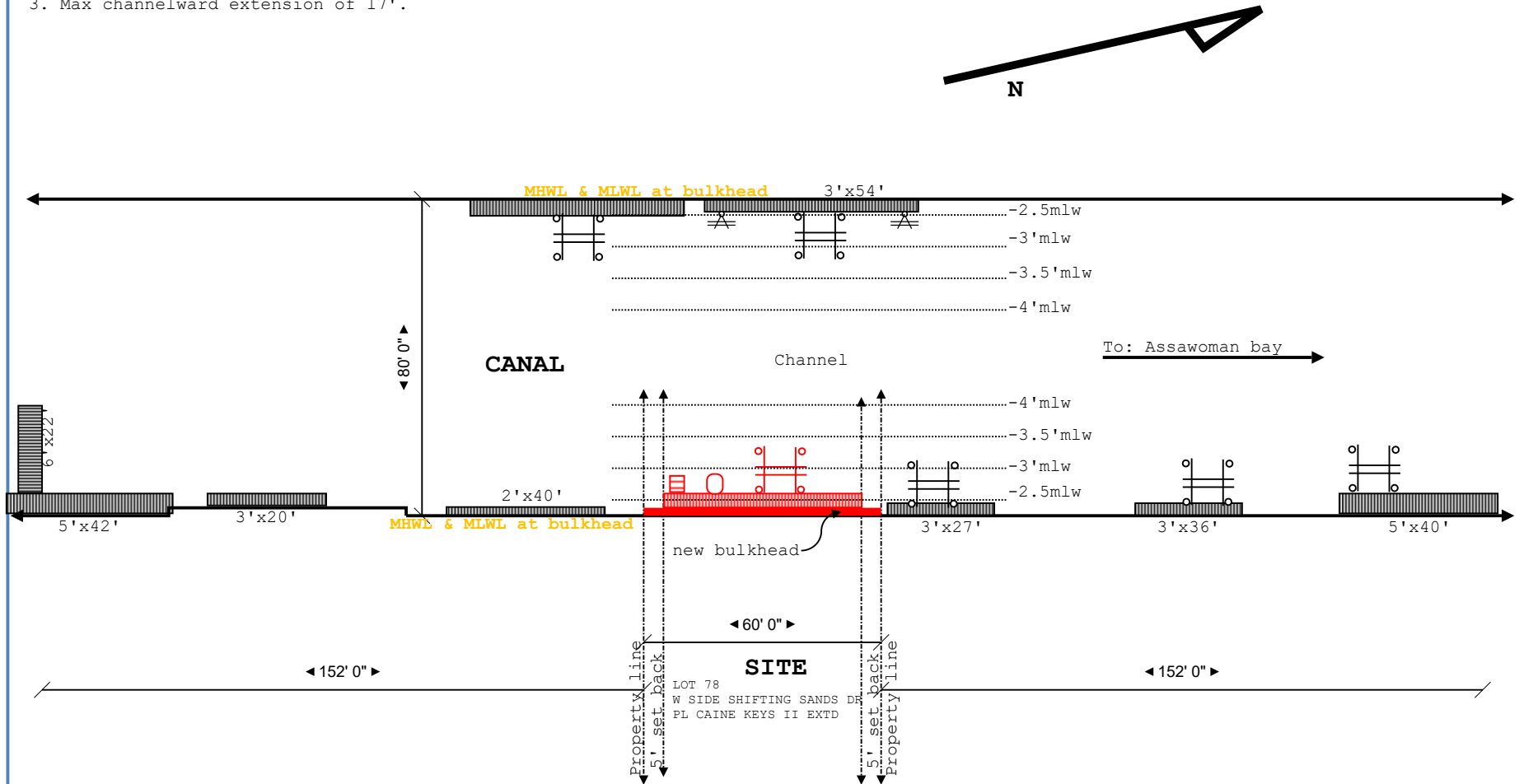
SCOPE

Install 65' of replacement bulkhead, a 3.5' x 50' parallel platform, a 4' x 5' float, a 3' x 4' staircase down into the water, and one (1) boat lift with all associated poles. Maximum channel ward extension of 17'.

REVISED 7/10/23

NOTES

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| | | | | | | | | | |
|--------|-----------------------------------|----------|-------------|----------|------------|--------|---------|--------|----------------------|
| Site: | 10609 Shifting Sands Drive, OC MD | Drawing: | 1 | Project: | Miller | Drawn: | Carouge | Notes: | Hidden Oak Farm, LLC |
| Title: | PROPOSED CONDITIONS | Scale: | 1/4":10' 0" | Date: | 04/27/2023 | Rev: | A | | |



TOWN OF OCEAN CITY

The White Marlin Capital of the World

Board of Port Wardens
PO Box 158
Ocean City, Maryland 21843

August 15, 2023

Jason Miller
2923 Merryman Rd.
Phoenix, MD 21131

Re: PW 23-057 – 10609 Shifting Sands Dr.

Dear Mr. Miller,

On Thursday, June 8, 2023 the Board of Port Wardens met and approved your request to install 65' of replacement bulkhead, a 3.5' x 50' parallel platform, a 4'x5' float, a 3'x4' staircase leading down into the water and one boat lift with associated pilings a maximum channelward extension of 17' at the above location by a vote of 4-0 p/staff recommendations.

Authorization from the **U.S. Corp of Engineers and Maryland Department of Environment must be obtained before proposed work may begin.**

1. **SPECIAL PROVISIONS:** Staff finds this application meets or exceeds minimum BOPW specifications using the following:
 - Bulkhead must meet TOC (6.1) standard for canal front replacements, and shall not exceed 18" channelward
 - Boatlift and floating dock to installed must be installed p/manufacture's specifications
 - All work not to exceed 16' maximum channelward extension
 - Platform and stairs to be constructed p/TOC marine standards
 - 5' setback shall be maintained and/or letters of no objection to be submitted with a building permit application which must be approved prior to the start of any work
 - All marine construction must be completed within 18 months of Board decision
2. **A building permit shall be obtained from the Building Official of the Town of Ocean City prior to the start of any construction, no construction will be allowed until all permits have been issued.**
3. The building and inspection office for the Town of Ocean City must be notified for inspections at the following three (3) stages: the beginning of proposed construction, prior to any backfilling, and the completion of the construction.
4. **All construction shall be completed within eighteen months of the date of issuance of BOPW approval/permit.**

It is the finding of the Board that the proposed work will be of economic benefit will not unduly affect marine life and will improve the recreational potential of the city. The issuance of this permit does not and is not intended to confer any property rights of interests.

Sincerely,

Shawn Nave
Acting Harbor Master

MAYOR
RICHARD W. MEEHAN

CITY COUNCIL

MATTHEW M. JAMES
President

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Secretary

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CITY MANAGER
TERENCE J. MCGEAN, PE

CITY CLERK
DIANA L. CHAVIS, CMC

Chase M. Phillips

From: Jamie Caine <jamiecocmd@gmail.com>
Sent: Thursday, January 25, 2024 2:20 PM
To: Chase M. Phillips
Cc: jamiller11@comcast.net; Jamie Caine
Subject: 10609 Shifting Sands Dr. Setback Appeal

Dear Mr Phillips,

It was nice speaking with you today about the new pool at 10609 Shifting Sands Dr. I wanted to let you know I have no problem with the new pool being 3' from the property line.

Which I understand is where the pool is now, I know the pool that is there now has been there since 1989.

Please don't hesitate to contact me, if I can be of further assistance.

Sincerely,

Jamie Caine
Associate Broker
Coldwell Banker Realty
410 726 0725 Cell

[Jamiecocmd@gmail.com](mailto:jamiecocmd@gmail.com)

"Over 35 Years Selling the BEACH"



WHY SHOULD I BUY OR SELL WITH JAMIE CAINE?

Professional Background

I have been a LOCAL OCEAN CITY Resident all of my life, and licensed since I was 18 years old. I can confidentially say "I KNOW OCEAN CITY and the surrounding Maryland and Delaware areas!" My family had one of the oldest Real Estate Companies here at the BEACH starting in the late 1950's named CAINE REAL ESTATE. My father, James B. Caine was instrumental in the development of OCEAN CITY from 86th Street to the Delaware Line including all of the North Ocean City BEACHES to the Bay. Some of these developments are CAINE KEYS I, (Bayside Keys-94th Street), CAINE KEYS II, CAINE HARBOUR MILE, MONTEGO BAY, CAINE WOODS and the James B. Caine Plat (now where all the High Rises Stand). With my background, knowledge of the BEACH areas in selling and development, the TECHNOLOGY of COLDWELL BANKER REALTY, and my negotiation skills, I am able to give the highest level of customer service and the most up to date information to my buyers and sellers.

COLDWELL BANKER REALTY is seen throughout the country on more internet sites than any other Real Estate Company. Coldwell Banker also allows me to give my sellers and buyers the BEST marketing Materials for maximum exposure. COLDWELL BANKER also gives us EXCEPTIONAL National coverage on the Internet where we can be seen on over 900+ websites nationally and internationally.



STAFF REPORT

DATE: March 14, 2024

TO: Board of Zoning Appeals

FROM: George Bendler, AICP, Planning & Zoning Director
Karen J. (Kay) Gordy, Zoning Administrator
Chase Phillips, Zoning Analyst

RE: 5 Requests for the redevelopment of the properties known as 601 and 605 Atlantic Avenue: a special yard exception for the building, a variance for a roof structure, 2 special parking exceptions, and a request for these actions to be valid for 3 years.
BZA 2679 (24-09400003)

Applicant: Joseph E. Moore, Esq. Atty for 601 Atlantic, LLC, 605 Atlantic, LLC, and SAS Partnership, LLC

Subject Property: 601 and 605 Atlantic Avenue
Ocean City, Maryland 21842

Request: The applicant has made the following requests:

1. A special yard exception to allow an additional two stories to be 7.5 feet from a front property line, conforming to the legally nonconforming setback.
2. A variance from the front yard setback requirement to allow a roof structure to be 3.83 feet from a front property line.
3. A special parking exception to allow 8 parking spaces to be in a tandem stacked configuration.
4. A special parking exception from design standards to allow 2 6-inch encroachments for support columns.
5. For all approvals to be valid for a period of three (3) years.
(Applicant Exhibit #1)

Property Description: The property is described as Lots 7 and 8, Block 7, of the Sinepuxent Beach Plat. It is further described as being on the northwest corner of 6th Street and Atlantic Avenue, the Boardwalk, and is locally known as 601 and 605 Atlantic Avenue, Ocean City. (Staff Exhibit #1)

Zoning: Boardwalk Commercial District (BC-2)
Upper Downtown Design Overlay

Project History: This subject site is currently split between three buildings. Building A (601) has retail space on the first floor and is a rooming/boarding house on the 2nd and 3rd floors. Building B (605) has 2 commercial fit outs on the first floor, currently used as eateries, 2 apartment units on the 2nd floor, and 1 apartment on the 3rd floor. Building C (604) contains 2 apartments on the first floor and a rooming boarding house on the 2nd and 3rd floors.

The site is proposed to be redeveloped as 2 buildings. Building A will front to the Boardwalk and will have two commercial fit outs on the first floor and 2 apartments on each of the 2nd, 3rd, 4th, and 5th floors. Additionally, Building B to the rear will have 6 workforce housing units split between 3 floors.

Several legal nonconformities are present. They include setbacks, density, and parking. Further to the March 5th 2024, nonconformity study completed by Kay Gordy, Zoning Administrator, the redevelopment project is generally consistent with the Zoning Code. However, the 4 points as part of this request are the remaining elements of the project that the transfer of nonconformity does not cover. (Staff Exhibit #2)

Relevant Code References:

1. Ocean City Code – Chapter 110
Article II, Division 4, Board of Zoning Appeals
Section 110-93 (Powers of the Board of the Zoning Appeals)

(2) To hear and decide on applications for special exceptions upon which the Board is specifically authorized to pass under this chapter.

(3) To hear and decide on applications for variances upon which the Board is specifically authorized under this chapter.

Special exceptions are permitted if the Board finds the Board finds that, in its opinion, as a matter of fact, such exceptions will not adversely affect the uses of adjacent and neighboring property under the terms of this chapter.

2. Ocean City Code – Chapter 110

Article II, Division 4, Board of Zoning Appeals

Section 110-98 (Lapse of Special Exception or Variance)

“... any special exception or variance so approved or granted shall lapse after the expiration of one year if no substantial construction or change of use has taken place in accordance with the plans for which special exception or variance was granted or if the Board does not specify some longer period than one year for good cause shown...”

3. Ocean City Code – Chapter 110

Article II, Division 4, Board of Zoning Appeals

Section 110-94 (Special Exceptions)

(2)(b) The Board shall have the power to grant special exceptions to parking. This includes a waiver or reduction of the parking requirements and design standards in any district whenever the character or use of any building is such as to make unnecessary the full provision of parking facilities. Special exceptions to parking requirements are not permitted for the portion of a development project that utilizes transferable of development rights to increase its density.

(3)(a) A special yard exception to yard regulations is permitted on a lot where, on said lot or on the adjacent lot, there is a front, side, or rear yard that does not conform to such yard regulations in a way similar to the exception applied for.

4. Ocean City Code – Chapter 110

Article II, Division 4, Board of Zoning Appeals

Section 110-95 (Variances)

(1)(a) The Board shall have the power to grant variances from minimum yard regulations.

5. Ocean City Code – Chapter 110

Article V, Division 3, Off-Street Parking

Section 110-935 (Design Standards)

(a) *Minimum area:* “... an off-street parking space is an all weather surfaced area not within a street or alley and having an area of not

less than 180 square feet, exclusive of driveways, *and minimum dimensions of nine feet in width and 20 feet in depth not withstanding additional requirements for handicapped spaces, and permanently reserved for the temporary storage of one licensed vehicle and connected with a street or alley by a paved driveway* which affords ingress and egress for an automobile without requiring another vehicle to be moved...”

6. Maryland Land Use Code Article 4-206 – Variances

Courts in Maryland have recognized a two-part test to determine whether a variance should be granted. The deciding authority asks, first, whether the subject property is “unique” compared to neighboring properties such that the zoning provision affects the subject property disproportionately; and, second, whether a “practical difficulty” or unnecessary hardship” results from that uniqueness.

A. Uniqueness or Peculiarity

- Whereby reason of the exceptional narrowness, shallowness, or unusual shape of a specific property, or by reason of exceptional topographic conditions or other extraordinary situations or special conditions of property the literal enforcement would make it exceptionally difficult to comply.
- The uniqueness, then, must have a nexus with the aspect of the zoning law from which a variance is sought.
 - a. Investigate unusual features of the property.
 - b. Investigate surrounding properties to see if they share the same unusual features.

B. Practical Difficulty

- Whether compliance with the strict letter of restrictions governing area, setbacks, frontage, height, bulk, or density would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.
- Whether the variance applied for would do substantial justice to the applicant as well as to other property owners in the district, or whether a lesser relaxation than that applied for would give substantial relief to the owner of the property involved and be more consistent with justice to other property owners.

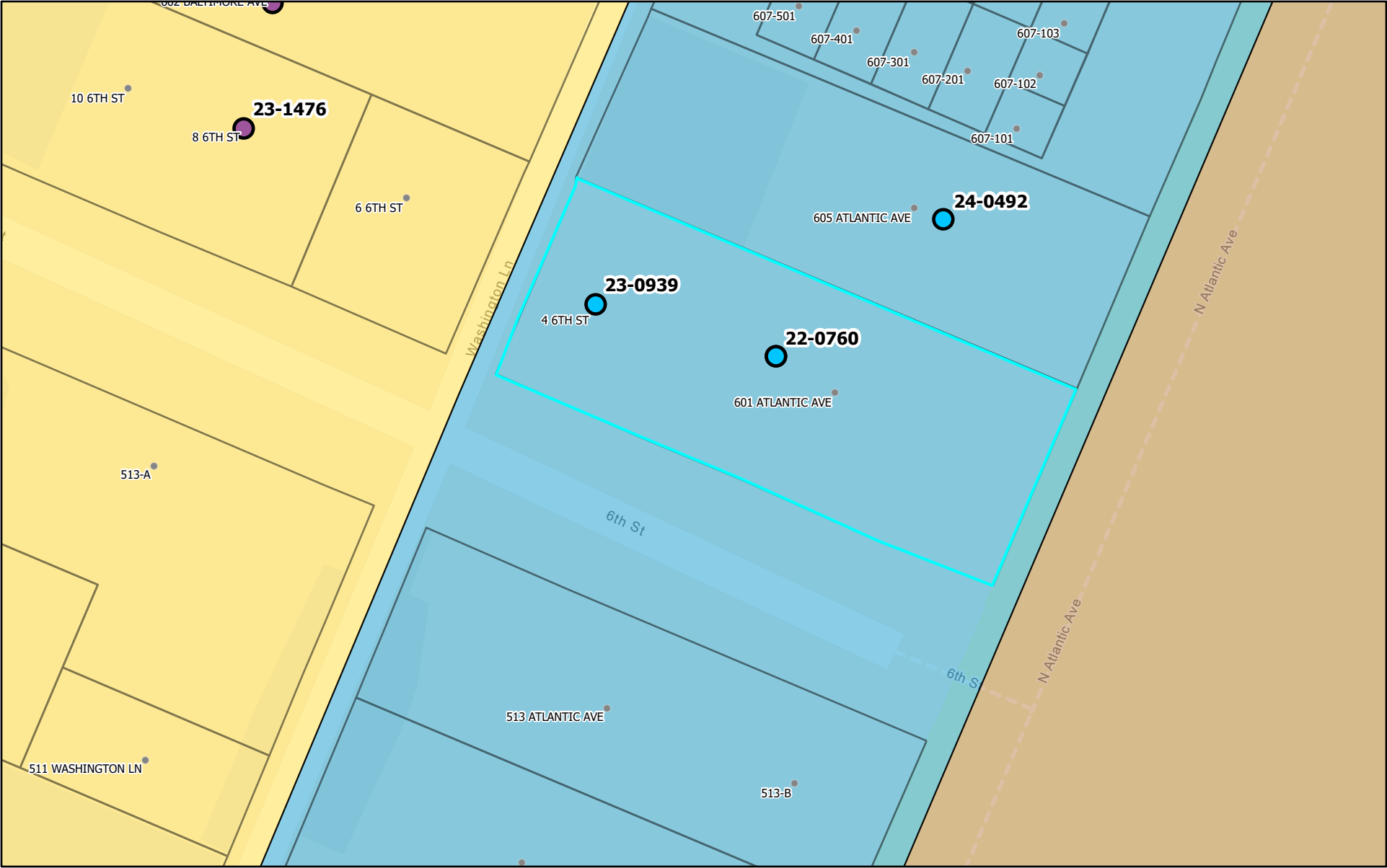
- Whether relief can be granted in such fashion that the spirit of the ordinance will be observed, and public safety and welfare secured.
- Not because of any action taken by the applicant.
- Not contrary to public interest.

Public Comment: As of March 7, 2024, the Department of Planning and Community Development has not received any letters of public comment.

Staff Recommendation: Staff respectfully ask that the Board carefully review the application materials and staff report, accept testimony from the applicant and any persons who come forward to testify, then weigh the evidence and craft the decision including findings of fact with advice from the Board attorney for these requests:

1. A special yard exception to allow an additional two stories to be 7.5 feet from a front property line, conforming to the legally nonconforming setback.
2. A variance from the front yard setback requirement to allow a roof structure to be 3.83 feet from a front property line.
3. A special parking exception to allow 8 parking spaces to be in a tandem stacked configuration.
4. A special parking exception from design standards to allow 2 6-inch encroachments for support columns.
5. For all approvals to be valid for a period of three (3) years.

6th and Boardwalk



3/8/2024, 12:43:26 PM

Active Building Permits

Pending

Issued

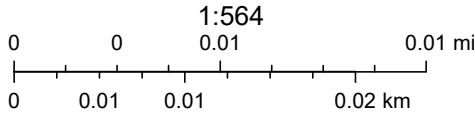
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Zoning

BR

BC-2

R-3



Esri Community Maps Contributors, Town of Ocean City, MD, VGIN, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph,

Department of Planning & Community Development
Town of Ocean City, MD



34-48 (a) Private courts on the fire lanes of multi-family buildings shall be at least 20 feet in width with the road edge closest to the building at least ten feet from the building and the fire lane shall be at least ten feet from the building on more than 40 feet from the building.

The medical emergency service elevators shall accommodate the loading and transport of two emergency personnel, each requiring a minimum clear 26-inch (663 mm) diameter circular area and an entrance opening to the elevator (minimum clear 24 inches by 34 inches [610 mm by 864 mm] with not less than 5-inch [127 mm] radius corners) in the no-control, open position.

BC-2 ZONING (8) UNITS MAXIMUM ALLOWABLE DENSITY
2.5 SPACES REQUIRED FOR EACH (3) BEDROOM UNIT

PARKING TABULATION: (2) COMMERCIAL SPACES

(1) SPACE PER EACH 200 GROSS SF. REQUIRED
2.480-70 GROSS SF TENANT SPACE *A*

COMMERCIAL TENANT SPACE "B" RESTAURANT USE

8.78 SPACES OR (9) REQUIRED
NONE PROVIDED

- 1) EXISTING SIX (6) SPACE PARKING NON-CONFORMITY PER EVALUATION BY ZONING ADMINISTRATOR
- 2) REQUEST THAT THE REDEVELOPMENT ALLOW A PORTION OF THE BUILDING AT THE SOUTH-EAST SIDE OF PROPERTY HAVE A FRONT YARD SETBACK LESS THAN THE TEN FEET REQUIRED BASED ON EXISTING BUILDING (TO BE DEMOLISHED) HAVING A SETBACK OF 7'-6". REQUEST IS FOR NEW STRUCTURE TO MAINTAIN THE SETBACK. (SEE ATTACHED SETBACK PLAN) FOR ALL 5 STORIES - DO NOT VIOLATE STORE AREA 7'-6" COMMERCIAL @ 1ST FL. AND R-2 UNITS ABOVE
- 3) ALLOW FOR STRUCTURAL CONCRETE COLUMNS TO IMPEDE INTO THE REQUIRED WIDTH OF PARKING SPACES 6" INCHES WHERE ANY COLUMN NEEDS TO BE PLACED FOR POST TENSION SLAB SUPPORT
- 4) REQUEST FOR WORKFORCE HOUSING SIX UNITS WITH (4) BEDS EACH UNIT, (2) BEDS TOTAL) BICYCLE RACKS PROVIDED AT THREE LOCATIONS 2 UNITS EACH @ LEVEL 2,3,4-WEST SIDE OF PROPERTY
- 5) REQUEST TO PROVIDE A FIXED ROOF @ 6TH ST INSIDE OF THE 10 FT. REQ. SETBACK OVER A PORTION OF OUTDOOR SEATING AREA FOR COFFEE SHOP PATRONS 3'-8" PROJECTION (3'-10" OFF LOT LINE @ 6TH ST)

FIVE STORY STRUCTURE

NOTE: REAR WORKFORCE HOUSING UNITS (4) STORIES
ZONING FOR BC-2 ALLOWS FOR 5 STORY-50 FEET
LOT AREA 14,200 GROSS SF. PER SURVEY DATA
GROSS BUILDING COVERAGE FLOORS 1- = 4,643.02 SF.
GROSS BUILDING COVERAGE FLOORS 2-3- = 6,580.45 SF.
GROSS BUILDING COVERAGE FLOOR 5- = 5,071.62 SF.
ALL TOTALS INCL. EAST FACING BALCONY AREAS.
STAIR TOWERS WALKS-UTILITY ROOMS INCL. IN SF

PER TOC ZONING CODE THE GRADE LEVEL PARKING
AT REAR (WEST) SIDE OF SITE IS A STORY

NOTE: THE CONTRACTOR SHALL VERIFY AND FIELD CHECK ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF ANY WORK, AND SHALL RETURN ALL DIMENSIONS FOR ANY CONDITIONS THAT MAY AFFECT THE WORK AND REPORT TO THE ARCHITECT AND THE ENGINEER ANY DISCREPANCY OR AMBIGUITY IN THE DIMENSIONS PROVIDED WITH ANY WORK. FAILURE TO VERIFY AND FIELD CHECK THE DIMENSIONS OR TO REPORT ANY DISCREPANCY OR AMBIGUITY IN THE DIMENSIONS WILL BE CONSIDERED ACCEPTANCE OF THE DIMENSIONS BY THE CONTRACTOR FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE ARCHITECT AND THE ENGINEER.

REVISION BLOCK

[illegible]

CALL ANY CITY 800-491-4642
716 934-8971 FAX 716 934-2200
www.upsat.com
CARECT-410-993-1637

STEVEN J. CIRILE, LLC
CONSULTANT - DESIGNER
WWW.STEVENJIRILE.COM
PHONE: 443-235-5476 OCEAN CITY MD

WORLD CITY 911 ADDRESS
500 N 1000 W LANSING, ARIZ.
2284A CITY GARFIELD 2884

SUNNY POKES & SONS
P.O. BOX 1 HAWKINS SUNNY POKES, LLC
2284A CITY GARFIELD 2884

1993] 2nd 70/90.

KAC ENGINEERING STRUCTURAL
117 LAKE ST. SCRAMIN, WA 98046
(206) 339-2700
WWW.KACENGINEERING.COM
ANTHONY P. GUILLOT, P.E.
DANIEL J. WOOD, P.E.

```

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R> plot(fit, las = 1, main = "glm.nb")
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+       bty = "n", col = "red", pch = 19)

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② 404.5729

MIXED USE
COMMERCIAL SPACE
RESIDENTIAL UNITS

NEW CONSTRUCTION (4) 218KX
D12 REDEVELOPMENT
(4) 1 BEDROOM UNITS
COMMERCIAL SPACE AT BOHONAK

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IN THE DISTRICT COURT OF THE UNITED STATES FOR THE DISTRICT OF COLUMBIA

BZA SUBMITTAL

100

SEAL

ANNUNC PARSE
RANGES

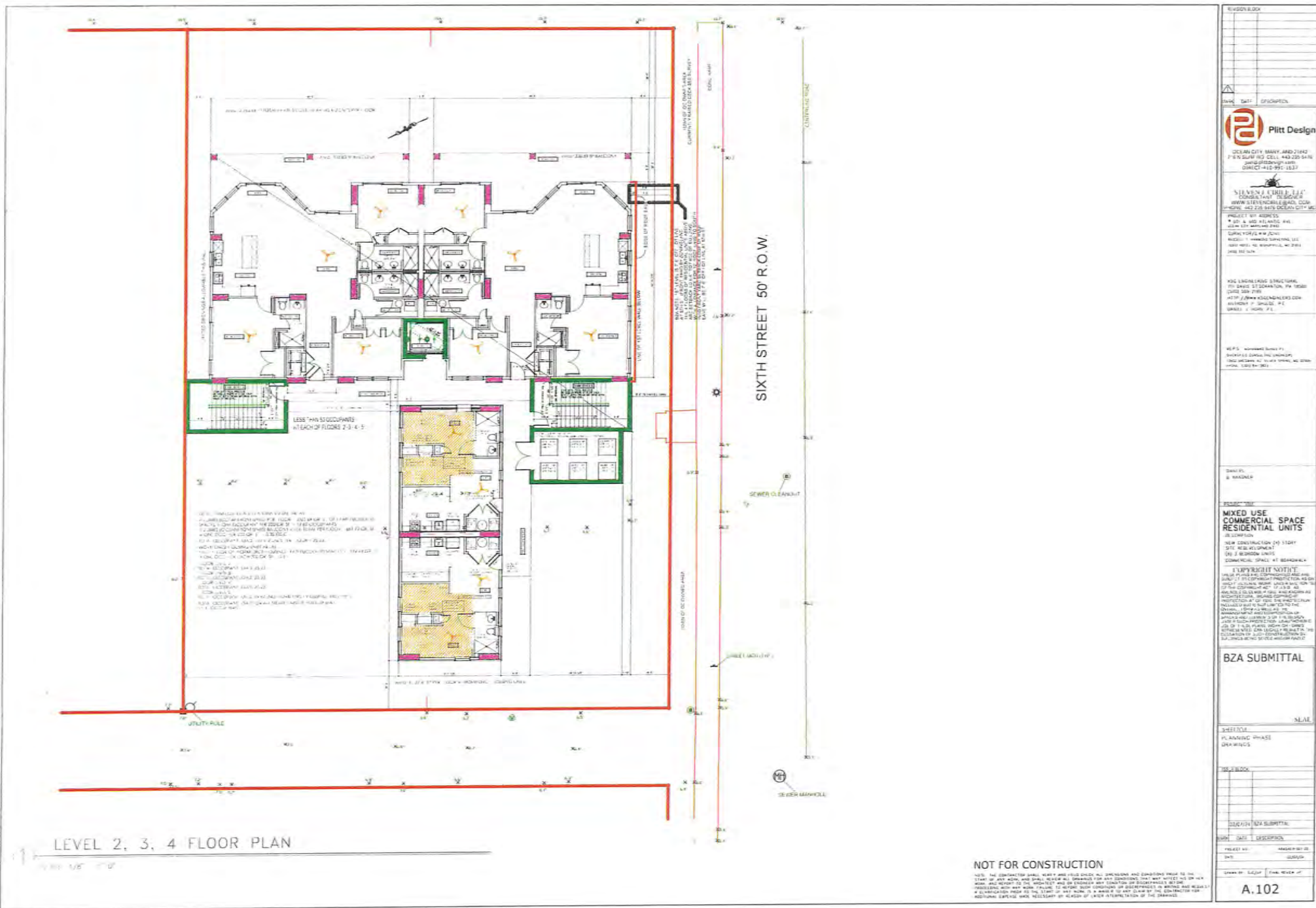
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| 01/12/24 | ECA - CON. SUBMITTAL |
| DATE | DESCRIPTION |
| PROJECT NO | WFOH-0011 |

[illegible]

A.101



REVISIONS/NOTES

DATE: 2/26/2018

Platt Design

OCEAN CITY, MARYLAND 21842
175 BROADWAY, 4TH FLOOR, OCEAN CITY, MD 21842
OFFICE: 410-326-2008
CELL: 410-326-1637

STEPHAN P. HILL, LLC
CONSULTANT - DESIGNER
10000 W. BROADWAY, SUITE 200
FLORENCE, MD 21034-5616 OCEAN CITY, MD 21842

PROJECT # 17-000033
P. BOX 48 - 17000 W. BROADWAY, SUITE 200
FLORENCE, MD 21034-5616
OWNER: THE HARRINGTON TRUST, LLC
10000 W. BROADWAY, SUITE 200
FLORENCE, MD 21034-5616
17000 W. BROADWAY, SUITE 200

K&E ENGINEERING STRUCTURAL
P. BOX 48 - 17000 W. BROADWAY, SUITE 200
FLORENCE, MD 21034-5616
17000 W. BROADWAY, SUITE 200
FLORENCE, MD 21034-5616
17000 W. BROADWAY, SUITE 200

SEPS
17000 W. BROADWAY, SUITE 200
FLORENCE, MD 21034-5616
17000 W. BROADWAY, SUITE 200
FLORENCE, MD 21034-5616
17000 W. BROADWAY, SUITE 200

DRAWING: 17-000033-01
DATE: 2/26/2018

MIXED USE
COMMERCIAL SPACE
RESIDENTIAL UNITS
DESCRIPTION
NEW CONSTRUCTION (40 STORY)
17000 W. BROADWAY, SUITE 200
FLORENCE, MD 21034-5616
17000 W. BROADWAY, SUITE 200
FLORENCE, MD 21034-5616

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SCALE

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ATLANTIC AVE. FRONT ELEVATION (THE BOARDWALK)

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NOT FOR CONSTRUCTION

NOTE: THE CONTRACTOR SHALL VERIFY AND FIELD CHECK ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF ANY WORK, AND SHALL REVEAL ALL DRAWINGS FOR ANY CONDITIONS THAT MAY AFFECT ITS OR HER WORK, AND REPORT TO THE ARCHITECT AND/OR ENGINEER ANY CONDITION OR DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK. FAILURE TO REPORT SUCH CONDITIONS OR DISCREPANCIES IN WRITING AND RETURN TO THE ARCHITECT AND/OR ENGINEER WILL BE CONSIDERED AS ACCEPTANCE BY THE CONTRACTOR FOR A CERTIFICATION PRIOR TO THE START OF ANY WORK IS A WAIVER TO ANY CLAIM BY THE CONTRACTOR FOR ADDITIONAL EXPENSE INCURRED NECESSARY BY DESIGN OR / OTHER MISAPPLICATION OF THE DRAWINGS.

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WASHINGTON LANE ELEVATION WEST

NOT FOR CONSTRUCTION

NOTE: THE CONTRACTOR SHALL VERIFY AND FIELD CHECK ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF ANY WORK, AND SHALL REVIEW ALL DRAWINGS FOR ANY CONDITIONS THAT MAY AFFECT HIS OTHER WORK, AND REPORT TO THE ARCHITECT AND ENGINEER ANY CONDITION OF DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK. FAILURE TO REPORT SUCH CONDITIONS OR DISCREPANCIES WILL BE DEEMED ACCEPTANCE OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND REQUESTING ANY CORRECTIONS PRIOR TO THE START OF ANY WORK. NO CLAIM BY THE CONTRACTOR FOR ADDITIONAL EXPENSE SHALL BE NECESSARY ON REASON OF LATE INTERPRETATION OF THE DRAWINGS.

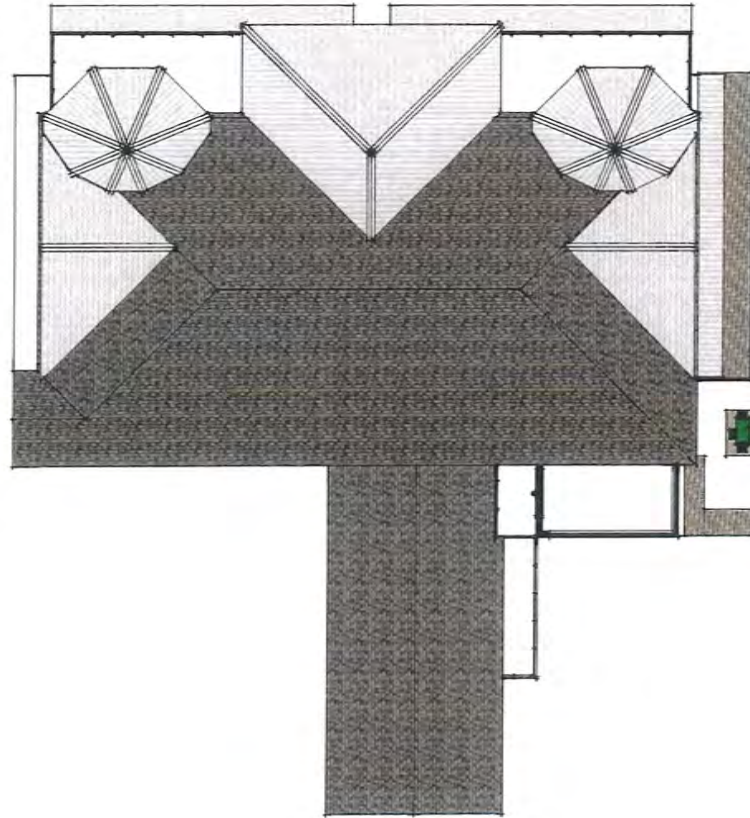
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$$m = 24.1 \pm 1.4^\circ \text{ and } 17.0^\circ$$

NOTE: THE CONTRACTOR SHALL VERIFY AND FIELD CHECK ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF ANY WORK, AND SHALL REVIEW ALL DRAWINGS FOR ANY CONDITIONS THAT MAY AFFECT HIS OR HER WORK, AND REPORT TO THE ARCHITECT AND/OR ENGINEER ANY CONDITIONS OR DISCREPANCIES BEFORE THE START OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LONG TERM DISCREPANCIES IN EXISTING AND AS-BUILT A COMPARISON PRIOR TO THE START OF ANY WORK. IT IS A WAIVER TO ANY CLAIM BY THE CONTRACTOR FOR ADDITIONAL EXPENSE WHEN NECESSARY BY REASON OF LATER INTERPRETATION OF THE DRAWINGS.

[illegible]



NOTE: THE CONTRACTOR SHALL VERIFY AND FIELD CHECK ALL DIMENSIONS AND ELEVATIONS PRIOR TO THE START OF ANY WORK, AND SHALL REVIEW ALL DIMENSIONS FOR ANY CONDITIONS THAT MAY AFFECT HIS OR HER WORK, AND REPORT TO THE ARCHITECT AND/OR ENGINEER ANY CONDITION OR DISCREPANCY BEFORE PROCEEDING WITH ANY WORK. IN THE EVENT OF ANY DISCREPANCY OR DISAGREEMENT, THE CONTRACTOR SHALL REQUEST A CLARIFICATION PRIOR TO THE START OF ANY WORK. IT IS A VIOLATION TO NOT CLARIFY TO THE CONTRACTOR FOR ANY DISCREPANCY. A RESPONSE MAY BE NECESSARY BY RETURN OF LETTER EXPLANATION OF THE DRAWINGS.

[illegible]

**DETERMINATION OF EXISTENCE AND EXTENT
OF NONCONFORMING STRUCTURES FOR DENSITY, PARKING & SETBACKS**

DATE: March 5, 2024

OWNER: 601 Atlantic, LLC - 605 Atlantic, LLC & SAS Partnership, LLC
c/o Bruce Krasner
12507 Sunset Avenue Unit 26
Ocean City MD 21842

PROJECT: Mixed Use Multi-Family dwelling units and commercial retail space

FINDING OF FACT

PROPERTY DESCRIPTION: The subject property is described as Tax Map 0110, Parcel 2858, Lot 7, Block 7N of the Sinepuxent Beach Company Plat; and Parcel 2857, Lot 8, Block 7N of the Sinepuxent Beach Company Plat; further described as being located on the north side of 6th Street, the east side of Washington Lane, and the west side of Atlantic Avenue (boardwalk), locally known as 601 and 605 Atlantic Avenue in the Town of Ocean City, Maryland. The third building located on the west side of Lot 7 is locally known as 4 6th Street in the Town of Ocean City, Maryland.

ZONING CLASSIFICATION: BC-2, Boardwalk Commercial, Zoning District with the Upper Downtown Design Overlay Zone.

LOT AREA: 14,200 +/- Square Feet, two (2) lots, 7 and 8, measuring 50' x 142'. Our sources include a Boundary Survey performed by Russell T. Hammond, Surveying, LLC dated October 22, 2023, plus existing files on record with the department and information provided on the Maryland State Department of Assessments and Taxation website.

REQUEST: The applicant is requesting a determination of nonconformity of a group of three buildings for the existence and extent of density, parking, and setbacks in order to redevelop said property as one large mixed-use project.

EXISTING USE OF PREMISES: One 2 ½ story structure with two (2) 2-bedroom multi-family units and nine (9) single rooms in a boarding/lodging/rooming house fashion (4 6th Street); one 3 ½ story structure with two (2) 5-bedroom multi-family units, one each on floors two and three, and retail space on the first floor (601 Atlantic Avenue); and one 3 story building with two (2) 2-bedroom units and one (1) 4-bedroom unit and on the upper floors with two (2) retail units on the first floor (Columbus Villas 605 Atlantic Avenue).

USE OF PREMISES PER CODE: In accordance with Section 110-632 Permitted uses – A building or land in the BC-2 boardwalk commercial district shall be used only for the following purposes, provided all business shall be conducted wholly within the main building, except for outside display authorized by the board of zoning appeals: Any use permitted in the BC-1 boardwalk commercial district.

601 Atlantic, LLC - 605 Atlantic, LLC & SAS Partnership, LLC
c/o Bruce Krasner
12507 Sunset Avenue Unit 26
Ocean City MD 21842
Page Two

EXISTING DENSITY: Multi-family units – 7 dwelling units: Two (2) 2-bedroom
Two (2) 3-bedroom
One (1) 4-bedroom
Two (2) 5-bedroom
And Nine (9) separate rooms as rooming/boarding/lodging guest rooms.

ALLOWED DENSITY: Code Section 110-636(3) Projects containing more than two recorded lots shall apply the single lot requirement for the first two lots in accordance with subsections (1)b.1 and 2 of this section; and thereafter, lot area per dwelling unit shall be one dwelling unit per 1,000 square feet of remaining lot area.

- Each of the two lots are 7,100 square feet in land area – yield four units each for a total of 8 multi-family dwelling units, or
- Section 636(d) Lot area per roominghouse/boardinghouse/lodginghouse guestroom: 500 square feet. $14,200 \text{ square feet} / 500 = 28 \text{ rooms}$ or an equivalent combination of both.

PARKING:

Multi-family units –7 dwelling units: Two (2) 2-bedroom 2 spc/2 BR = 4 spaces
Two (2) 3-bedroom 2.5 spc/3 BR = 5 spaces
One (1) 4-bedroom 3 spc/4 BR = 3 spaces
Two (2) 5-bedroom 3.5 spc/5 BR = 7 spaces
And Nine (9) separate rooms as rooming/boarding/lodging guest rooms. 1 spc/room = 9 spaces

Plus: T-Shirt Factory retail at 601 Atlantic Ave is 2,625.15 gsf/200 per space 13.1 spcs
Subway/Edible Cookie Dough restaurant at 605 Atlantic Avenue
is 1917.84 gsf/100 per space 19.2 spcs

Total parking spaces required: 60.3 spaces rounded to 61 spaces

Provided: Ten (10) tandem design parking spaces onsite

SETBACKS:

Required:

Front Yard:

- Code Section 110-636(4) Ten feet except as follows: (a) The body of every building shall at all points be at least 32 feet from the west side of Atlantic Avenue. The porch lines of every building shall at all points be at least 20 feet from the west side of Atlantic Avenue.

601 Atlantic, LLC - 605 Atlantic, LLC & SAS Partnership, LLC
c/o Bruce Krasner
12507 Sunset Avenue Unit 26
Ocean City MD 21842
Page Three

Side Yard:

- Code Section 110-636(5)a – Five feet per one-, two- or three-story buildings.

Rear Yard:

- Code Section 110-636(6)a – Ten feet.

Provided:

Front Yards: 601 Atlantic Avenue

- Atlantic Avenue (boardwalk) – Body of main building 31.3 feet (31' 3-5/8")
- Porches are 11.6 feet, providing a 19.7-foot setback (19' 8-1/2")
- 6th Street – minimum 7.5 feet (7' 6") instead of 10 feet

Side Yard:

- North side – minimum 1.7 feet (1' 8-1/2")

Front Yard: 4 6th Street

- 6th Street – Body of main building provides minimum 8.4 feet setback (8' 4-7/8"). The first and second story covered porch and steps cross over the property line, providing a 0-foot setback instead of 4 feet as required by Code.

Side Yard:

- Body of main building crosses property line by 0.6 feet (7-1/4"), providing 0-foot setback.

Rear Yard:

- Body of main building provides 2.9 feet (2' 10-7/8") and 2nd floor covered porch provides 0 feet setback.

Front Yard: 605 Atlantic Avenue

- Atlantic Avenue (boardwalk) – Body of main building 31.6 feet (31' 7-1/4")
Porches are 12.2 feet, providing a 19.4-foot setback (19' 4-7/8")

Side Yards:

- South side – Body of main building provides minimum 9.4 feet setback (9' 4-7/8"). Steps cross the south property line and decking further encroaches 4.9 feet (4' 10-3/4").

601 Atlantic, LLC - 605 Atlantic, LLC & SAS Partnership, LLC
c/o Bruce Krasner
12507 Sunset Avenue Unit 26
Ocean City MD 21842
Page Four

- North side – Body of main building is minimum 4.5 feet (4' 6") instead of 5 feet as required by Code. Cantilevered porches provide 1.1-foot setback (1' 1-1/4")

Rear Yard:

- Body of main building is approximately 58 feet from the rear lot line.

Inspection Results: I investigated the nonconformity determination request by three methods:

1. Review of existing documents on file with the department including previous Board of Zoning Appeals special parking exception decision to convert first floor of Columbus Villas, 605 Atlantic Avenue, to retail plus a Determination of Nonconformity dated 1987 related to 601 Atlantic Avenue.
 2. Review of information included on the State Department of Assessment & Taxation website.
 3. Onsite visitation – George Bendler, Director of Planning and Community Development; Chase Phillips, Zoning Analyst; and I conducted an onsite inspection accompanied by the Steven Cirile, an onsite manager, and Bruce Krasner on Tuesday, January 16, 2024.
-

CONCLUSIONS: All nonconformities are in bold and highlighted

My determination of nonconformity is as follows:

DENSITY:

Existing residential uses: Multiple-family dwelling units – Seven (7) exist
Rooming/boarding/lodging house guest rooms
Nine (9) exist

The two residential uses, as defined by bulk regulations, are conforming if each stands alone:

Allowed multiple-family dwelling units – Eight (8) units
Allowed rooming/boarding/lodging
guest rooms (14,200 SF/500) – 28 units

601 Atlantic, LLC - 605 Atlantic, LLC & SAS Partnership, LLC
c/o Bruce Krasner
12507 Sunset Avenue Unit 26
Ocean City MD 21842
Page Five

However, combine the existing residential dwelling types:

14,200 square feet of land area – each lot contains 7,100 square feet
First two lots of 5,000-7,250 square feet yield a maximum of 4 multiple-family dwelling units. Taking the square footage of one lot (7,100 sf) and dividing it by 4 gives us the approximate square footage per unit
 $7,100/4 = 1,775$ each unit, so
 $1,775 \times 7$ existing units = 12,435 sf
14,200 total square feet of land area minus 12,435 accounted for,
= 1,765 square feet, so
Divide 1,765 by 500 for each rooming/boarding/lodging house guest room – 3.53 or Three (3) guest rooms.

Nine (9) of these rooms exist over the three (3) guest rooms that would be allowed, so the project is currently 6 rooming/boarding/lodging house guest rooms nonconforming.

PARKING:

Multi-family units: 7 dwelling units: Two (2) 2-bedroom 2 spc/2 BR = 4 spaces
Two (2) 3-bedroom 2.5 spc/3 BR = 5 spaces
One (1) 4-bedroom 3 spc/4 BR = 3 spaces
Two (2) 5-bedroom 3.5 spc/5 BR = 7 spaces

And

Nine (9) separate rooms as rooming/boarding/lodging guest rooms.
1 spc/room = 9 spaces

Plus:

| | | |
|---|----------------------------|------------------|
| T-Shirt Factory retail | 2,625.15 gsf/200 per space | 13.1 spcs |
| Subway and Edible Cookie Dough restaurant use | | |
| | 1,917.84 gsf/100 per space | <u>19.2 spcs</u> |

Total parking spaces required: 60.3 spaces rounded to 61 spaces

Provided: Ten (10) tandem design parking spaces onsite

Parking spaces nonconforming 51

601 Atlantic, LLC - 605 Atlantic, LLC & SAS Partnership, LLC
c/o Bruce Krasner
12507 Sunset Avenue Unit 26
Ocean City MD 21842
Page Six

SETBACKS: 601 Atlantic Avenue:

- *Front yard setback on Atlantic Avenue:* Body of main building provides **31.3 feet (31' 3-5/8")** setback, **minor encroachment of 8-3/8"**, instead of 32 feet required by Code.
 1. Porch provides **19.7 feet (19' 8-1/2")** setback, **minor encroachment of 3-1/2"**, instead of 20 feet required by Code.
- *Front yard setback on 6th Street:* Body of main building provides minimum **7.5 feet (7' 6")** setback, **encroachment of 2.5 feet (2' 6")**, instead of 10 feet required by Code.
- *North side yard setback:* provides a minimum **1.7-foot (1' 8-1/2")** setback, **encroachment of 3.3 feet (3' 3-1/2")**, instead of 5 feet required by Code.

4 6th Street

- *Front yard setback on 6th Street:* Body of main building provides minimum **8.4 feet (8' 4-7/8")** setback, **encroachment of 1.6 feet (1' 7-1/8")**, instead of 10 feet required by Code.
- The first and second story covered porch and steps **cross over the property line**, providing a **0-foot setback** instead of 4 feet required by Code.
- *Side yard setback on Washington Lane (16-foot alley):* Body of main building **crosses property line by 0.6 feet (7-1/4")**, providing **0-foot setback** instead of minimum 5 feet required by Code.
- *Rear yard setback on north property line:* Body of main building provides **2.9 feet (2' 10-7/8")** setback, **encroachment of 7.09 feet (7' 1-1/8")**, instead of 10 feet required by Code.
- Covered porch provides **0-foot setback** instead of 4 feet required by Code.

605 Atlantic Avenue

- *Front yard setback on Atlantic Avenue:* Body of main building provides minimum **31.6 feet (31' 7-1/4")** setback, **minor encroachment of 4-3/4"**, instead of 32 feet required by Code.
 1. Porch provides **19.4 feet (19' 4-7/8")** setback, instead of 20 feet required by Code, **minor encroachment of 7-1/8"**.
- *Side yard setbacks:* South – Body of main building provides minimum **9.4 feet (9' 4-7/8")** setback, **minor encroachment of 7-1/8"**, instead of 5 feet required by Code. **Steps cross the south property line and decking**

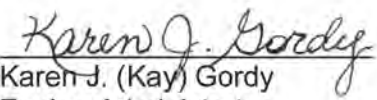
601 Atlantic, LLC - 605 Atlantic, LLC & SAS Partnership, LLC
c/o Bruce Krasner
12507 Sunset Avenue Unit 26
Ocean City MD 21842
Page Seven

further encroaches 4.9 feet (4' 10-3/4"), porch not allowed in side yard setback.

North – Body of main building provides **4.5 feet (4' 6")** setback, instead of 5 feet required by Code. Cantilevered porch provides **1.1-foot setback – porch not allowed in side yard setback**

- *Rear yard setback:* 58 feet from rear property line, no nonconformity.

Nonconformity shall be regulated as set forth within Section 110-71 through 110-74 attached or any subsequent amendment.


Karen J. (Kay) Gordy
Zoning Administrator
March 5, 2024

DIVISION 3. - NONCONFORMING USES, STRUCTURES AND LOTS

- **Sec. 110-71. - Purpose.**

This zoning ordinance establishes separate districts, each of which is an appropriate area for the location of the uses and structures which are permitted in that district. It is necessary and consistent with the establishment of those districts that all uses and structures incompatible with permitted uses and structures be strictly regulated and properly controlled. The purpose of the special regulations of this division is to encourage preservation, revitalization and redevelopment of existing nonconforming uses, structures and lots in the various districts.

(Ord. No. 1993-1, § 105-26.1, 1-19-1993)

- **Sec. 110-72. - Determination of existence of nonconforming use, structure or lot.**

(a) The existence and extent of a nonconforming use, structure or lot shall be a question of fact to be determined by the administrator. If, after investigation and an on-site inspection, the administrator cannot make a confident determination, he may require the property owner to apply to the Board of Zoning Appeals for determination of nonconformity following a public hearing. A Determination of Nonconformity of parking requirements shall not be applicable to support the portion of a development project that utilizes Transferable Development Rights to increase its base density.

601 Atlantic, LLC - 605 Atlantic, LLC & SAS Partnership, LLC
c/o Bruce Krasner
12507 Sunset Avenue Unit 26
Ocean City MD 21842
Page Eight

(b) The administrator shall keep a record of all determinations of nonconformities and provide the same to the Planning Commission and Board of Zoning Appeals at each regularly scheduled meeting.

(c) A fee in accordance with the fee schedule officially approved by the Mayor and Council and posted with the department shall be paid by the applicant for determination of nonconformity.

(Ord. No. 1993-1, § 105-26.2, 1-19-1993; Ord. No. [2019-06](#), 5-20-2019)

- **Sec. 110-73. - Continuation of nonconforming use.**

(a) Any bona fide use of land or structure which lawfully exists at the effective date of this chapter may be continued although such use does not conform to the provisions hereof, subject to the regulations of this division. The nonconforming use of land or a structure may be hereafter extended throughout those parts of a building which were lawfully and manifestly arranged or designed for use at the time of the enactment of this chapter or subsequent amendment.

(b) The casual, intermittent, temporary or illegal use of land or structures shall not be sufficient to establish the existence of a nonconforming use, and the existence of a nonconforming use on a part of a lot or tract shall not be construed to establish a nonconforming use on the entire lot or tract.

(c) Dry nightclubs which lawfully existed on November 19, 2001 that were located in zoning districts other than LC-1, SC-1 and BMUD, or which did not meet the separation requirements described in [section 110-514](#)(23), are nonconforming uses and subject to all other regulations of this chapter. Nonconforming dry nightclubs must obtain an annual business license and are subject to all regulations and conditions of said license.

(Ord. No. 1993-1, § 105-26.3, 1-19-1993; Ord. No. 2001-23, 12-3-2001)

- **Sec. 110-74. - Change or discontinuance of nonconforming use or nonconforming structure.**

(a) Whenever a nonconforming use of land or buildings has been changed to a more restricted use or to a conforming use, such use shall not thereafter be changed to a less restricted use.

(b) No building or land or portion thereof used in whole or in part for a nonconforming use which remains idle or unused for a continuous period of two years, whether or not the equipment or fixtures are removed, shall again be used

601 Atlantic, LLC - 605 Atlantic, LLC & SAS Partnership, LLC
c/o Bruce Krasner
12507 Sunset Avenue Unit 26
Ocean City MD 21842
Page Nine

except in conformity with the regulations of the district in which such building or land is located.

(c) Nonconforming structures shall not be extended, expanded, enlarged or added to in any manner except in compliance with minimum bulk regulations. Existing encroachments within required yards and open space shall not be expanded, enlarged or added to in any manner within required yards or open space.

(d) Nonconforming structures which have been damaged by any cause whatsoever may be repaired or rebuilt, provided that any repair or rebuilding does not in any respect increase the extent of nonconformity in any manner whatsoever.

(e) Nonconforming structures may be altered, renovated, rebuilt or expanded provided that such alteration, renovation, reconstruction or expansion does not in any manner increase the degree of noncompliance in any respect.

(f) The permitted uses of nonconforming structures may be changed to other permitted uses provided the change of use does not in any manner increase the degree of noncompliance in any respect.

(g) Outdoor display of merchandise which lawfully existed at the effective date of this provision may be continued for a period of two years. Thereafter, the outdoor display of merchandise shall be regulated as set forth in [section 110-363](#).

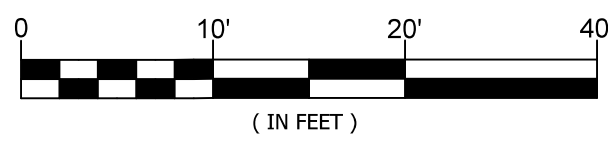
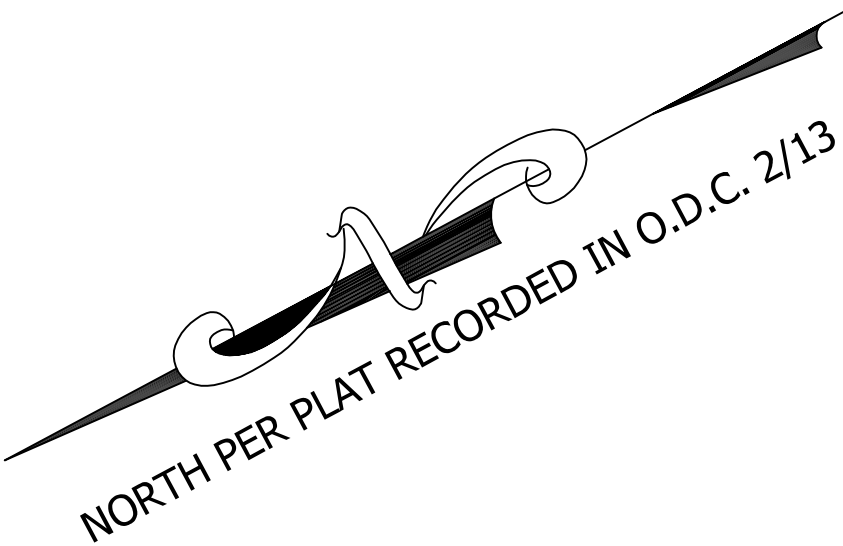
(Ord. No. 1993-1, § 105-26.4, 1-19-1993; Ord. No. 1997-1, 3-3-1997; Ord. No. 2000-1, 2-7-2000)

- **Secs. 110-75—110-90. - Reserved.**

NOTE: THIS PLAT REFLECTS THE DESCRIPTION OF THE LOT/PARCEL AS NOTED IN THE TITLE OF THIS PLAT, AS SHOWN ON THE RECORD PLAT AND DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS OF WAY, WETLANDS, UTILITIES OR EASEMENTS PERTAINING TO THIS PROPERTY OTHER THAN THOSE AS SHOWN ON SAID RECORD PLAT. NO TITLE SEARCH OR COVENANTS PROVIDED OR STIPULATED.

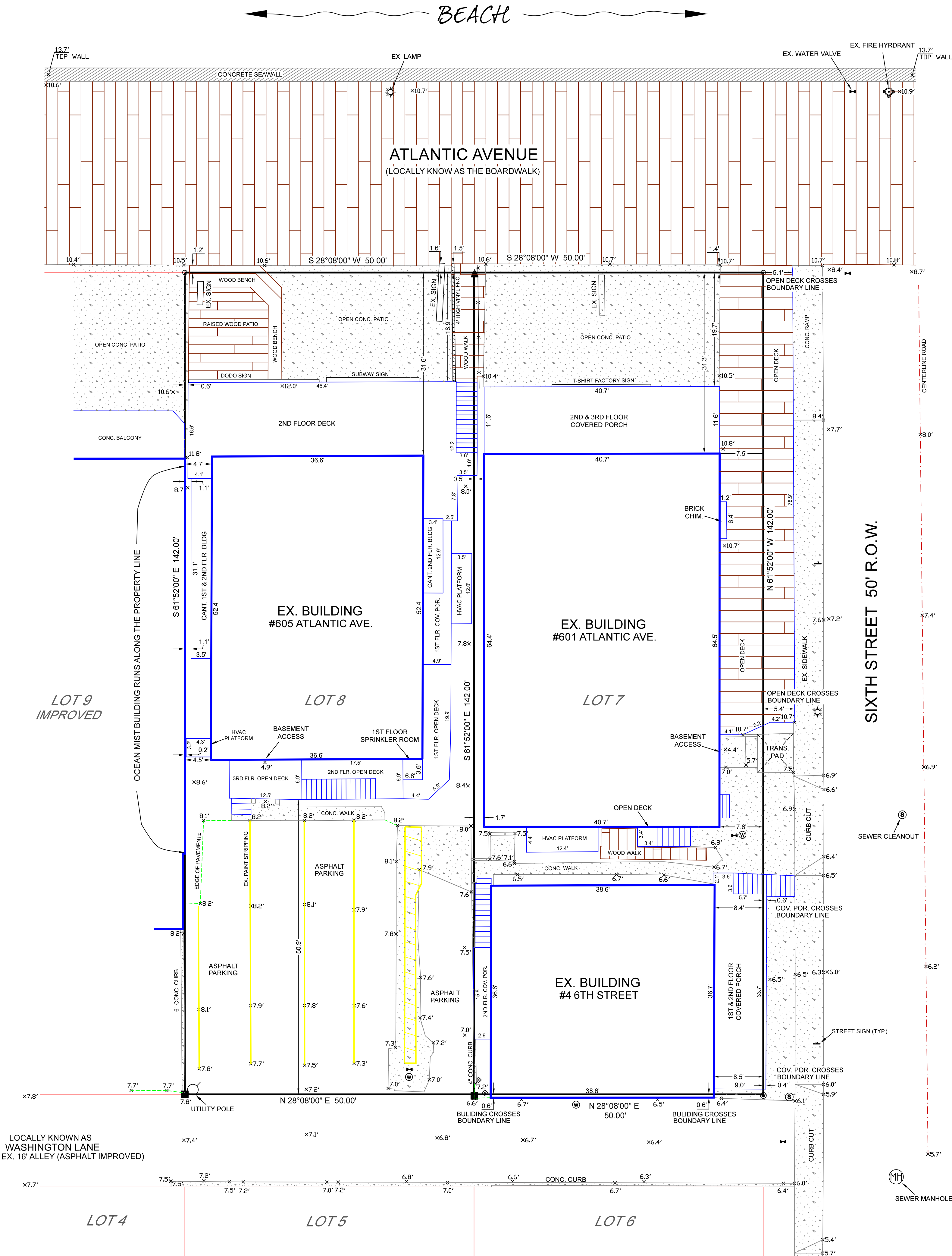
Staff Exhibit #2 Page 10

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 21330, EXPIRATION DATE 10/02/25.



- MIN. ACCURACY = 0.1'±
- LEGEND**
- DENOTES CONCRETE MONUMENT FOUND
 - ▲ DENOTES MAG NAIL FOUND
 - DENOTES IRON ROD FOUND
 - DENOTES UNMARKED POINT
 - 5.6' x DENOTES EX. SPOT ELEV. (NAVD 1988) (ELEVATIONS REF. TO OCM 5A)
 - Ⓜ DENOTES EX. WATER METER
 - Ⓢ DENOTES EX. UTILITY PED. (TYP.)

GENERAL NOTES:
ADDRESS: #605 ATLANTIC AVENUE
TAX MAP 110 - PARCEL 2857
DEED REF.: S.R.B. 9532/295
LOT 8 - BLOCK 7
LOT AREA = 7,100 SQ. FT.±
ADDRESS: #601 ATLANTIC AVENUE
TAX MAP 110 - PARCEL 2858
DEED REF.: S.R.B. 8384/150
LOT 7 - BLOCK 7
LOT AREA = 7,100 SQ. FT.±
PLAT REF.: O.D.C. 2/13
EX. ZONING: BC-2
FLOOD ZONE: X
PER FIRM NO. 245207 0179 H
DATED JULY 16, 2015.
CRITICAL AREA DESIGNATION: I.D.A.



BOUNDARY SURVEY
LOT 7 & LOT 8 - BLOCK 7
PLAT OF THE PROPERTY OF THE SINEPUXENT BEACH COMPANY
TOWN OF OCEAN CITY
TENTH TAX DISTRICT, WORCESTER COUNTY, MARYLAND

| | | | |
|--|--------------|-------------|------------|
| PROFESSIONAL SEAL | | | |
| RUSSELL T. HAMMOND Surveying, LLC | | | |
| SURVEYING - LAND PLANNING 10310 Hotel Road Bishopville, MD 21813 (410) 352-5674 - (410) 726-8076 | | | |
| DESIGNED BY | N/A | SURVEYED BY | RS/GTH |
| DRAWN BY | R. SAVAGE | DATE | 10/22/2023 |
| CHECKED BY | R.T. Hammond | SCALE | 1" = 10' |
| FILE # | | | 2023-3508 |
| SHEET | | | 1 OF 1 |

RUSSELL HAMMOND SURVEYING, LLC RESERVES ITS COMMON LAW COPYRIGHT IN THESE PLANS, PLATS, OR OTHER DOCUMENTS. ANY AMENDMENTS, COPYING OR DISTRIBUTION, INCLUDING COMPUTER GENERATED AMENDMENTS, IS PROHIBITED UNLESS PERMITTED IN WRITING BY RUSSELL T. HAMMOND SURVEYING, LLC.

Real Property Data Search ()
Search Result for WORCESTER COUNTY

View Map

View GroundRent Redemption

View GroundRent Registration

Special Tax Recapture: None

Account Identifier: District - 10 Account Number - 033136

Owner Information

Owner Name: 601 ATLANTIC LLC

Use: COMMERCIAL

Mailing Address: 6333 SOUTH POINT RD
BERLIN MD 21811-

Principal Residence: NO

Deed Reference: /08384/ 00150

Location & Structure Information

Premises Address: 601 ATLANTIC AVE
OCEAN CITY 21842-0000
Waterfront

Legal Description: LOT 7 BLK 7
50 X 142
ATLANTIC AVE

| | | | | | | | | | |
|------|-------|---------|---------------|--------------|----------|--------|------|------------------|-----------|
| Map: | Grid: | Parcel: | Neighborhood: | Subdivision: | Section: | Block: | Lot: | Assessment Year: | Plat No: |
| 0110 | 0011 | 2858 | 32080.24 | 11AM | | 7N | 7 | 2022 | Plat Ref: |

Town: OCEAN CITY

| | | | | |
|-------------------------|-------------------------|------------------------|--------------------|------------|
| Primary Structure Built | Above Grade Living Area | Finished Basement Area | Property Land Area | County Use |
| 1940 | 11,100 SF | | 7,100 SF | |

| | | | | | | | |
|---------|----------|----------------------------|----------|---------|----------------|--------|-----------------------------------|
| Stories | Basement | Type | Exterior | Quality | Full/Half Bath | Garage | Last Notice of Major Improvements |
| | | MIXED RESIDENTIAL / RETAIL | / | C3 | | | |

Value Information

| | | | | |
|--------------------|------------|------------|----------------------|------------|
| | Base Value | Value | Phase-in Assessments | |
| | | As of | As of | As of |
| | | 01/01/2022 | 07/01/2023 | 07/01/2024 |
| Land: | 1,319,800 | 1,815,000 | | |
| Improvements | 260,500 | 172,500 | | |
| Total: | 1,580,300 | 1,987,500 | 1,851,767 | 1,987,500 |
| Preferential Land: | 0 | 0 | | |

Transfer Information

| | | |
|--|--------------------------|--------------------|
| Seller: IRREVOCABLE INTERVIVOS TRUST AGREEMENT | Date: 05/13/2022 | Price: \$3,750,000 |
| Type: ARMS LENGTH IMPROVED | Deed1: /08384/ 00150 | Deed2: |
| Seller: SIVAN NIKOLAUS & SERENA & | Date: 04/19/1996 | Price: \$0 |
| Type: NON-ARMS LENGTH OTHER | Deed1: /02263/ 00516 | Deed2: |
| Seller: SIVAN NIKOLAUS & SERENA & | Date: 04/19/1996 | Price: \$0 |
| Type: NON-ARMS LENGTH OTHER | Deed1: RHO /02263/ 00513 | Deed2: |

Exemption Information

| | | | |
|-----------------------------|-------|------------|------------|
| Partial Exempt Assessments: | Class | 07/01/2023 | 07/01/2024 |
| County: | 000 | 0.00 | |
| State: | 000 | 0.00 | |
| Municipal: | 000 | 0.00 0.00 | 0.00 0.00 |

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application

Date:



STAFF REPORT

DATE: March 14, 2024

TO: Board of Zoning Appeals

FROM: George Bendler, AICP, Planning & Zoning Director
Karen J. (Kay) Gordy, Zoning Administrator
Chase Phillips, Zoning Analyst

RE: A request for a special parking exception to waive 2 parking spaces of the required 10 spaces and a request for a special parking exception from design standards for the 8 remaining spaces to be 9' X 18'
BZA 2680 24-09400004

Applicant: JDACAI Ocean City, LLC Attn: Dave Eynon
19016 Abbey Manor Drive
Brookeville, Maryland 20860

Subject Property: 11651 Coastal Highway
Ocean City, Maryland 21842

Request: The applicant has requested two special parking exceptions. The first is a special parking exception to waive 2 spaces from the required 10 spaces. The second request is for a special parking exception from design standards to allow for the remaining 8 spaces to be 9' X 18' rather than 9' X 20' that is required by Code. (**Applicant Exhibit #1**)

Property Description: The property is described as Lot 242, Section 1 of the Caine Harbor Mile-Plat. It is further described as being located on the northwest corner of Coastal Highway and Newport Bay Drive and is locally known as 11651 Coastal Highway, in the Town of Ocean City, Maryland. (**Staff Exhibit #1**)

Zoning: Local Commercial District (LC-1)

Project History: This request was previously made as BZA Case 2633 (24-09400017). At their meeting of October 27, 2022, the Board of Zoning Appeals approved the request to waive 2 parking spaces from the required 10 and for the remaining 8 spaces to be 9' X 18'. The approval was valid for one (1) year and expired on October 27, 2023. Additionally, the applicant has an application for a phased site plan that will go before the Planning Commission on March 19, 2024. (Staff Exhibit #2)

Relevant Code References:

**1. Ocean City Code – Chapter 110
Article II, Division 4, Board of Zoning Appeals
Section 110-93 (Powers of the Board of the Zoning Appeals)**

(2) To hear and decide and decide on applications for special exceptions upon which the Board is specifically authorized to pass under this chapter.

Special exceptions are permitted if the Board finds the Board finds that, in its opinion, as a matter of fact, such exceptions will not adversely affect the uses of adjacent and neighboring property under the terms of this chapter.

**2. Ocean City Code – Chapter 110
Article II, Division 4, Board of Zoning Appeals
Section 110-94 (Special Exceptions)**

(1)(b) The Board shall have the power to grant special exceptions to parking. This includes a waiver or reduction of the parking requirements and design standards in any district whenever the character or use of any building is such as to make unnecessary the full provision of parking facilities. Special exceptions to parking requirements are not permitted for the portion of a development project that utilizes transferable of development rights to increase its density.

3. **Ocean City Code – Chapter 110**

Article V, Division 3, Off-Street Parking

Section 110-932 (Minimum Number of Spaces)

- | | |
|---|----|
| - First floor restaurant @ 1 space per 100 sq. ft. w/ 900 sq. ft. = | 9 |
| - Second floor future employee housing = | 1 |
| Total parking required = | 10 |

4. **Ocean City code – Chapter 110**

Article V, Division 3, Off-Street Parking

Section 110-935 (Design Standards)

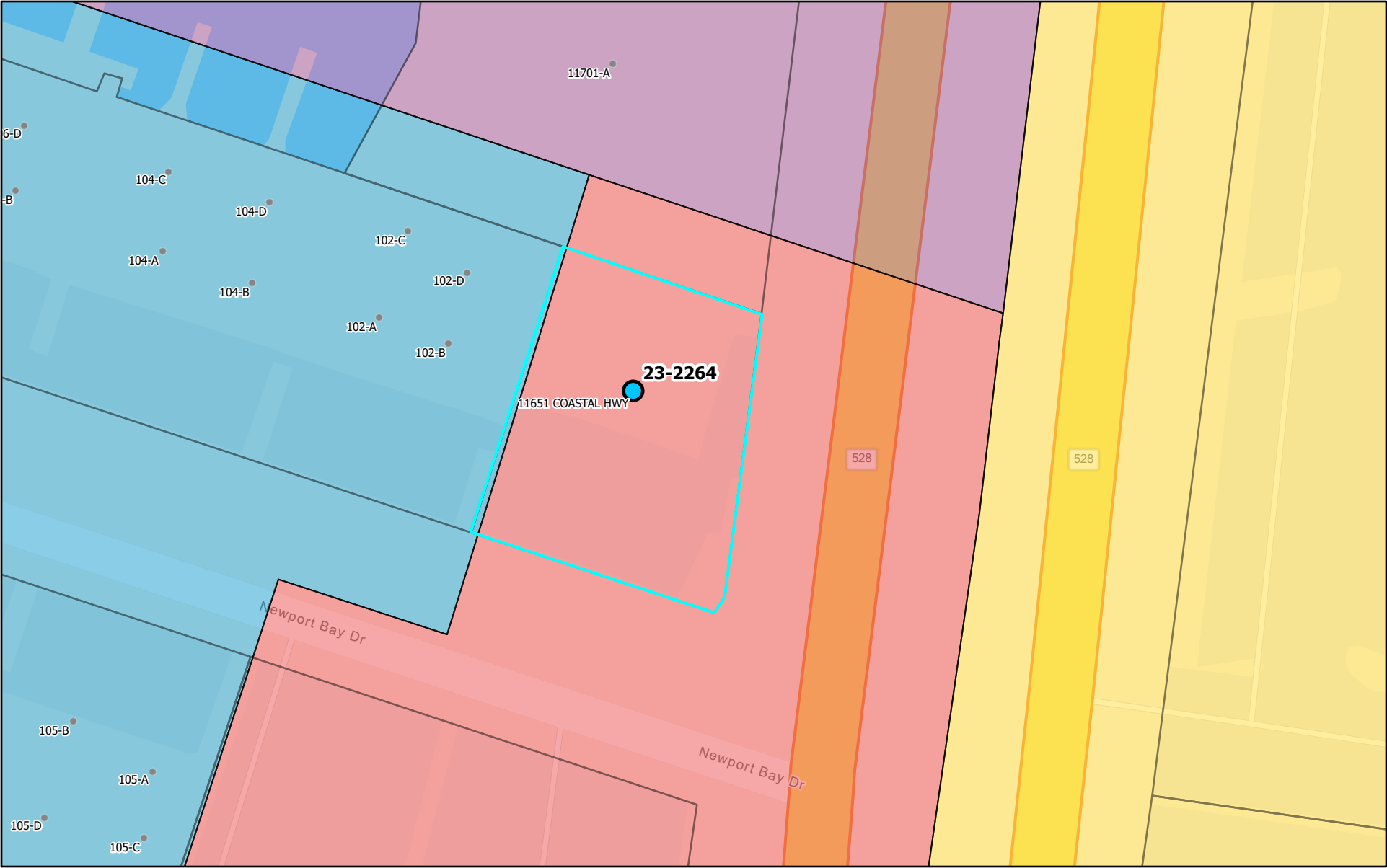
- (a) *Minimum area*: "... an off-street parking space is an all weather surfaced area not within a street or alley and having an area of not less than 180 square feet, exclusive of driveways, *and minimum dimensions of nine feet in width and 20 feet in depth...*"

Public Comment: As of March 7, 2024, the Department of Planning and Community Development has not received any letters of public comment.

Staff Recommendation: Staff respectfully asks that the Board carefully review the application materials and staff report, accept testimony from the applicant and any persons who come forward to testify, then weigh the evidence and craft the decision including findings of fact with advice from the Board attorney for these requests:

- a. A request for a special parking exception to waive 2 parking spaces from the required 10 spaces.
- b. A request for a special parking exception from design standards to allow for 8 spaces to have a dimension of 9' X 18' rather than 9' X 20'.

11651 Coastal Highway



3/7/2024, 3:04:32 PM

Active Building Permits

Pending

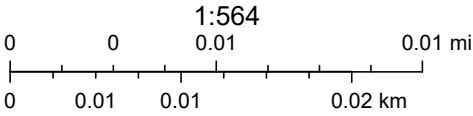
TOC_Parcels_

Zoning

LC-1

R-2

SC-1
 R-3





| BUILDING CODE ANALYSIS | |
|---|---|
| APPLICABLE BUILDING CODES (JURISDICTION: TOWN OF OCEAN CITY) | 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL PLUMBING CODE 2017 NATIONAL ELECTRIC CODE AND NFPA 70 ANSI A117.1 - 2010 STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES |
| APPLICABLE LIFE SAFETY CODE | 2018 LIFE SAFETY CODE (NFPA 101) |
| CONSTRUCTION TYPE | TYPE V - B |
| BUILDING USE GROUP | MIXED USE |
| FIRST FLOOR | USE GROUP B - ASSEMBLY w/ <50 OCCUPANTS |
| SECOND FLOOR | USE GROUP R-2 - RESIDENTIAL |
| OVERALL EXISTING FLOOR AREA (AREA TO REMAIN UNCHANGED) | 1,784 SQUARE FEET |
| FIRST FLOOR | 892 SQUARE FEET |
| SECOND FLOOR | 892 SQUARE FEET |
| TOTAL FLOOR AREA | 1,784 SQUARE FEET |
| ALLOWABLE FLOOR AREA | 7,000 SQUARE FEET (R-2 IS MORE RESTRICTIVE) |
| SPRINKLER INCREASE | NONE |
| FRONTAGE INCREASE | NONE |
| OCCUPANT LOAD | 27 OCCUPANTS |
| FIRST FLOOR (BUSINESS) | 22 OCCUPANTS |
| SECOND FLOOR (RESIDENTIAL) | 5 OCCUPANTS (BASED ON S.F. - 4 BEDS) |
| NUMBER OF STORIES | TWO (2) |
| ALLOWABLE NUMBER OF STORIES NO INCREASE TAKEN | TWO (2) |
| FIRE RESISTIVE ELEMENTS: | |
| OCCUPANCY (USE GROUP) SEPARATIONS | NOT APPLICABLE |
| TENANT SEPARATION | NOT APPLICABLE |
| STAIR ENCLOSURES | OPEN AT BOTTOM PER IBC 802.2.1 EXCEPTIONS 3, 5.1, AND 11.1. |
| SHAFT ENCLOSURES | NOT APPLICABLE |
| EXIT ACCESS CORRIDORS | NOT APPLICABLE |
| FLOOR CONSTRUCTION | NOT RATED |
| ROOF CONSTRUCTION | NOT RATED |
| EXTERIOR WALL CONSTRUCTION | NOT RATED |
| BUILDING IS SPRINKLERED PER NFPA 13. | |

| GENERAL NOTES | |
|---------------|--|
| A. | CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION. |
| B. | ANY ITEM WHICH IS NOT EXPRESSLY SHOWN BUT WHICH IS REASONABLY UNDERSTOOD TO BE REQUIRED FOR THE PROPOSED WORK SHALL BE ACCOUNTED FOR IN THE BID AND PROVIDED BY THE APPROPRIATE SUBCONTRACTOR OR SUPPLIER. |
| C. | CONTRACTOR SHALL STORE, TRANSPORT, AND DISPOSE OF DEMOLITION AND CONSTRUCTION DEBRIS IN STRICT ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL CODES AND REGULATIONS. |
| D. | THESE DRAWINGS ARE NOT PRESENTED AS FULL SERVICE DRAWINGS. THEY ARE PROVIDED TO ASSIST THE OWNER OR CONTRACTOR IN OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. |
| E. | IN THE EVENT THAT ADDITIONAL INFORMATION IS REQUIRED FOR BIDDING OR CONSTRUCTION, CONTACT THE ARCHITECT IN A TIMELY MANNER SO AS NOT TO ADVERSELY AFFECT THE PROSECUTION OF THE WORK. |
| F. | CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES AND FOR ALL SAFETY PRECAUTIONS AS THEY RELATE TO THIS PROJECT. |
| G. | THE CONTRACTOR SHALL SECURE ALL PERMITS, APPROVALS, AND INSPECTIONS FOR THIS PROJECT AS REQUIRED BY MUNICIPAL, COUNTY, OR STATE REGULATIONS OR REQUIREMENTS. |
| H. | CONSTRUCTION PERSONNEL SHALL PARK IN DESIGNATED AREAS. |
| I. | THE SITE SHALL BE MAINTAINED IN CLEAN CONDITION DURING CONSTRUCTION. DEBRIS SHALL NOT BE STORED ON SITE. MATERIALS SHALL BE STORED OR STAGED IN AREAS DESIGNATED BY THE OWNER. |
| J. | THE CONTRACTOR SHALL COORDINATE WITH OWNER AND MAKE NECESSARY ACCOMMODATIONS FOR COMPONENTS PROVIDED BY OWNER OR HIS SUBCONTRACTOR. |

| CONTACT INFORMATION | |
|---|--|
| LANDOWNERS | |
| WILLIAM AND EVELYN WEAVER 18000 MEADOWS STREET CT. SANDY SPRING, MD 20886 | |
| DEVELOPER | |
| JDEAL OCEAN CITY LLC 19016 ABBEY MANOR DRIVE BROOKVILLE, MD 20833 PHONE: (303) 948-2053 CONTACT: DAVE EYMON | |
| CONSULTANT | |
| IOTT ARCHITECTURE & ENGINEERING, INC. 310 HAMMOND STREET, SUITE 100 SALISBURY, MD 21804 PHONE: (410) 749-7229 E-MAIL: iott@iottarchitecture.com | |

| PROJECT DATA | |
|------------------------|--|
| DEED REF: 08572/ 00289 | |
| PLAT REF: | |
| PARCEL No.: 3540A | |
| LOT No.: 242 | |
| COUNTY: Worcester | |
| TAX MAP: 0116 | |
| GRID: 0022 | |
| PLAT No.: | |
| SUBDIVISION: 3320 | |

BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND

BUILDING PERMIT
NOVEMBER 21, 2023
REVISION
JANUARY 23, 2024

IOTT FILE NO. 23-038

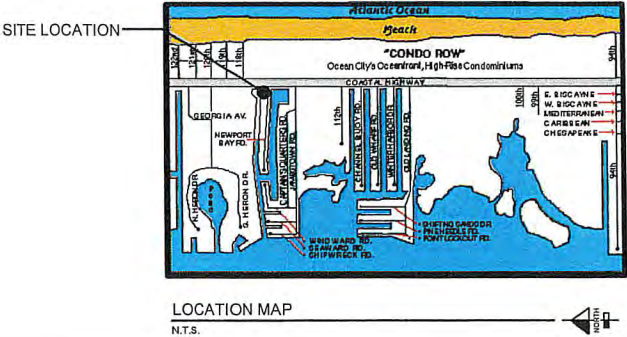
| ARCHITECT'S CERTIFICATION | |
|---|--|
| I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AS A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND | |
| KEITH IOTT, LICENSE NO. 8052 EXPIRATION DATE: MARCH 26, 2024 | |

| | |
|--|--|
| | |
| ARCHITECTURE ENGINEERING INCORPORATED | |
| 810 HAMMOND ST. • SUITE 100 • SALISBURY, MARYLAND (410) 749-7229 • FAX (410) 749-0061 | |

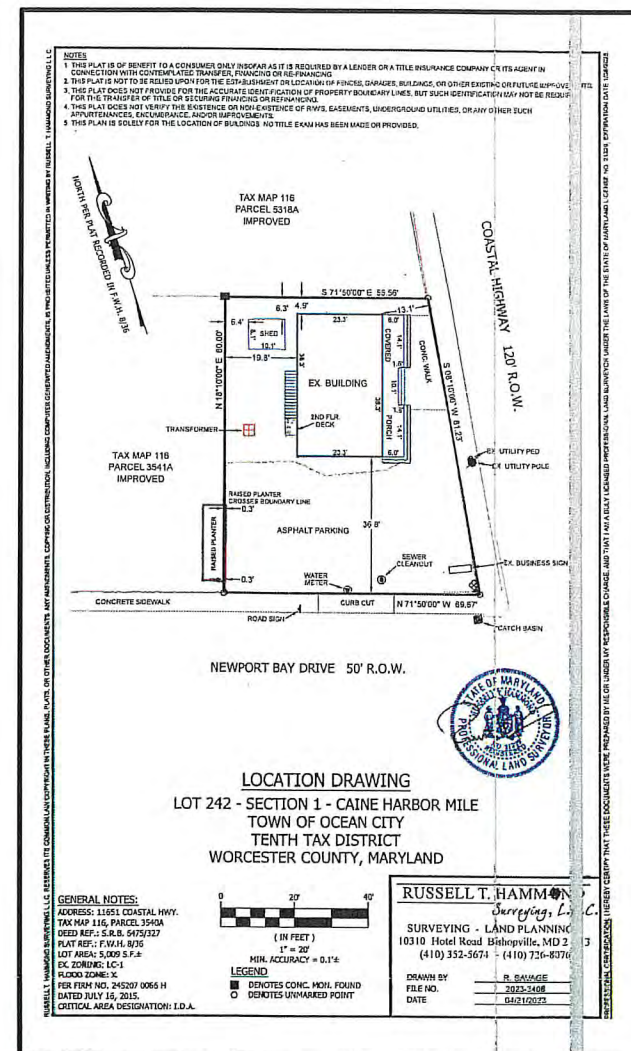


| LIST OF DRAWINGS | | ISSUE DATE | REV. DATE |
|------------------|---|------------|------------|
| CS1 | COVER SHEET | 11-21-2023 | 1-23-2024 |
| CIVIL | | | |
| C200 | EXISTING AND PROPOSED SITE PLANS | 11-21-2023 | |
| C201 | SITE CONSTRUCTION AND ACCESSIBILITY DETAILS | | 1-23-2024 |
| SWM200 | SITE AREA TAKEOFFS | | 1-23-2024 |
| ARCHITECTURAL | | | |
| D100 | DEMOLITION PLANS | 11-21-2023 | |
| D300 | EAST AND NORTH DEMOLITION ELEVATIONS | 11-21-2023 | |
| D301 | WEST AND SOUTH DEMOLITION ELEVATIONS | 11-21-2023 | |
| A100 | FIRST FLOOR PLAN | 11-21-2023 | 1-23-2024 |
| A101 | SECOND FLOOR PLAN | 11-21-2023 | 1-23-2024 |
| A200 | REFLECTED CEILING PLANS | 11-21-2023 | 1-23-2024 |
| A300 | EAST AND NORTH ELEVATIONS | 11-21-2023 | 1-23-2024 |
| A301 | WEST AND SOUTH ELEVATIONS | 11-21-2023 | 1-23-2024 |
| FS 100 | FOOD SERVICE PLANS | 11-21-2023 | 1-23-2024 |
| MECHANICAL | | | |
| M100 | MECHANICAL PLAN | 11-21-2023 | |
| M101 | MECHANICAL SCHEDULES AND SPECIFICATIONS | 11-21-2023 | |
| M102 | MECHANICAL NOTES AND SPECIFICATIONS | 11-21-2023 | |
| PLUMBING | | | |
| P100 | SANITARY SEWER PLANS | 11-21-2023 | 12-21-2023 |
| P150 | DOMESTIC WATER PLANS | 11-21-2023 | 12-21-2023 |
| ELECTRICAL | | | |
| E100 | OVERALL ELECTRICAL PLANS | 11-21-2023 | 1-23-2024 |

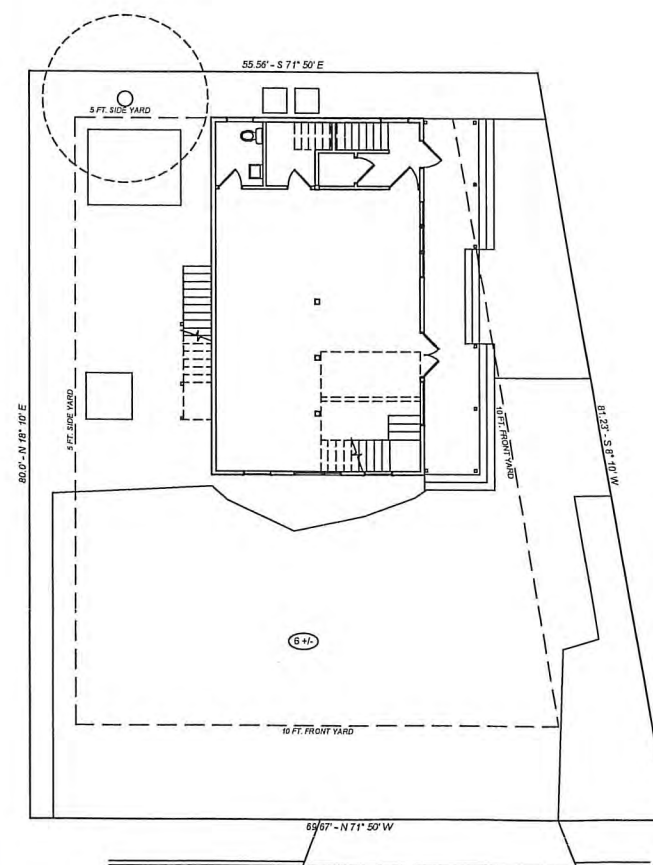
NOTE: EXCEPT WHERE NOTED IN FLOOR PLAN NOTES #9 AND #14 ON DRAWING A100, SECOND FLOOR WORK IS TO BE PERFORMED IN A FUTURE PHASE, CURRENTLY SLATED FOR WINTER 2024-25.



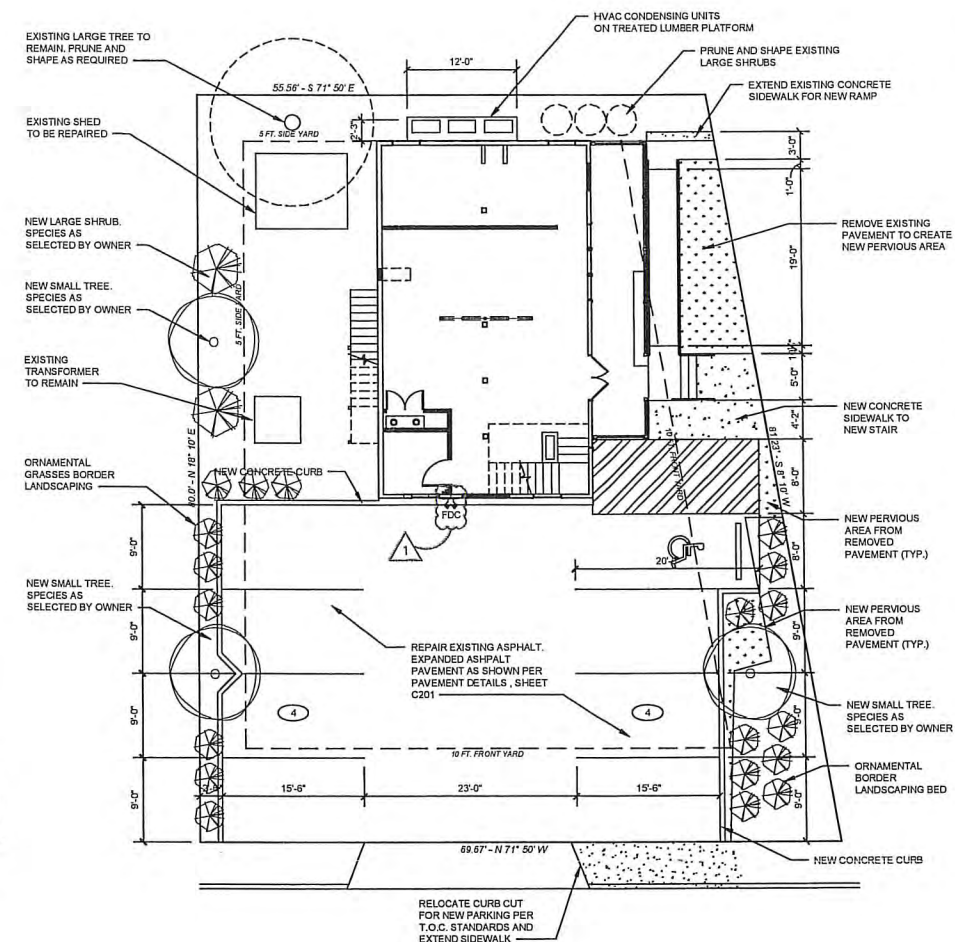
BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND



SURVEY PREPARED BY RUSSELL T. HAMMOND SURVEYING, LLC
SCALE: 1" = 20'-0"



EXISTING CONDITIONS SITE PLAN
SCALE: 1/8" = 1'-0"



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

| SITE DEVELOPMENT SUMMARY | |
|---|---|
| SITE AREA (PER SURVEY BY RUSSELL T. HAMMOND SURVEYING, LLC) | 5,009.0 SQ. FT. |
| PARKING ANALYSIS | |
| EXISTING BUILDING AREAS FIRST FLOOR RETAIL SECOND FLOOR OFFICE | 891 SQ. FT. 744 SQ. FT. |
| EXISTING UNMAKED ON-SITE PARKING PROVIDED | +/- 6 SPACES |
| POST-DEVELOPMENT BUILDING AREAS FIRST FLOOR RESTAURANT (1 SPACE PER 100 S.F. - MINIMUM FIVE) SECOND FLOOR FUTURE EMPLOYEE HOUSING (1 SPACE PER SLEEPING ROOM FOR FIRST TWO) | 891 SQ. FT. 9 SPACES 803 SQ. FT. 1 SPACE |
| ON-SITE PARKING REQUIRED | 10 SPACES |
| ON-SITE PARKING PROVIDED (INCLUDES HANDICAPPED SPACE AND ACCESS AISLE) | 8 SPACES |
| PARKING SPECIAL EXCEPTION (BZA No. 2633) REQUIRED PARKING SPECIAL EXCEPTION (ALL MAY BE SIZED 16' x 9') | 2 SPACES |
| PROPOSED PARKING PARKING PROVIDED AFTER REWORKING LOT GRANTED PARKING SPECIAL EXCEPTION | 8 SPACES 2 SPACES |
| NET PARKING PROVIDED | 10 SPACES |

| REVISIONS | | |
|-----------|-----------|-----------------------------------|
| NO. | DATE | REMARKS |
| 1 | 1-23-2024 | SITE REVISIONS PER ENGR. COMMENTS |
| | | |
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CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME OR ONLY BY A REGISTERED ARCHITECT LICENSED UNDER THE LAWS OF THE STATE OF MARYLAND

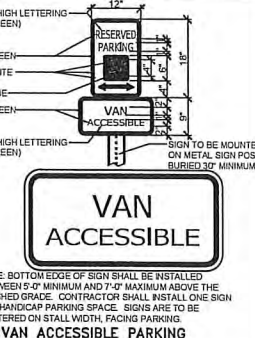
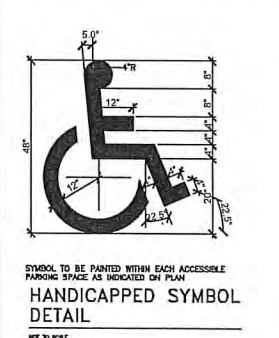
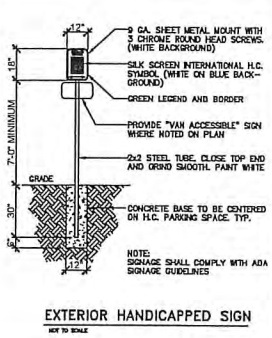
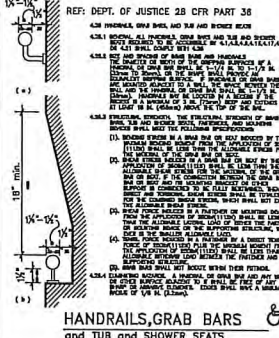
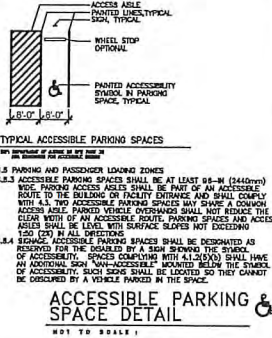
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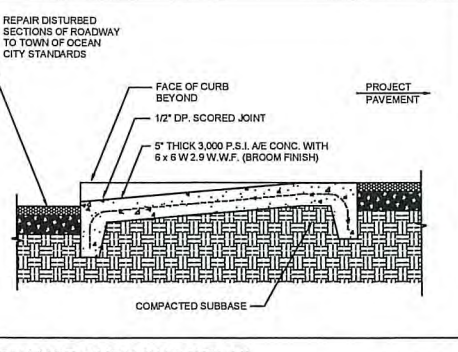
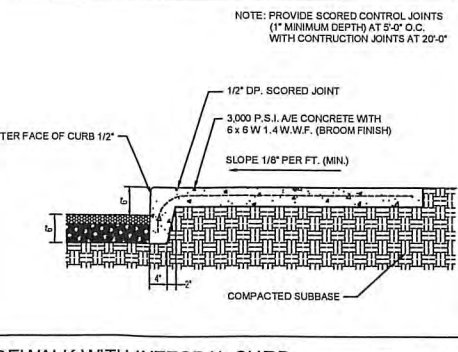
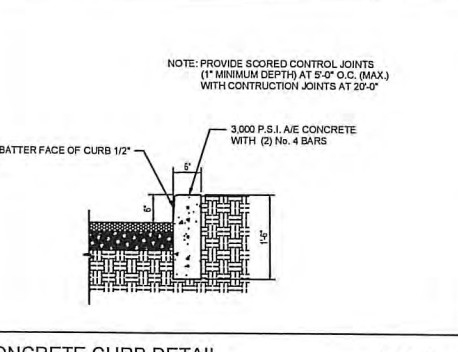
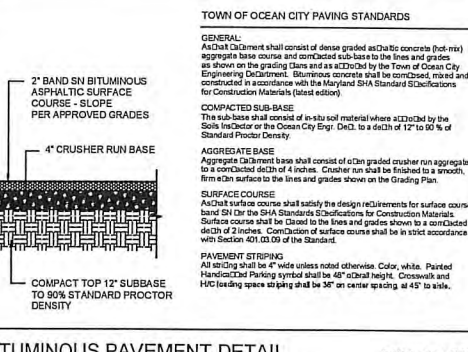
BUILDING RENOVATIONS
PLAYA BOWLS
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| DATE: NOV. 21, 2023 |
| DOT PROJ. NO.: 23-038 |
| DESIGN BY: KI |
| DRAWN BY: M.S. |
| SCALE: 1/8" = 1'-0" |
| STAGE: PERMIT |

C 200



SITE ACCESSIBILITY NOTES AND DETAILS



| REVISIONS | | |
|-----------|-----------|---------------------|
| NO. | DATE | REMARKS |
| 1 | 1-23-2024 | INITIAL SHEET ISSUE |
| | | |
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WITH OTT LICENSE NO. 17053
 EXPIRATION DATE 11/30/2024

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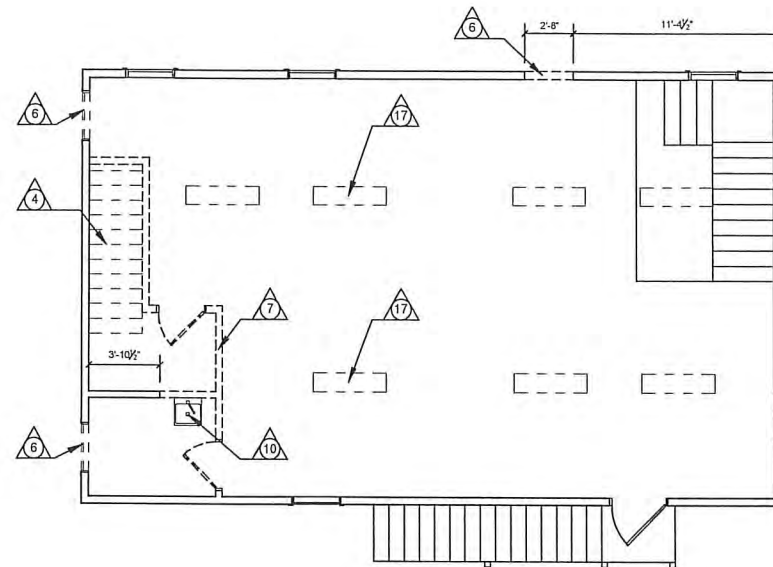
BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND

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| DATE: 11-21-2023 |
| IOTT PROJ. NO.: 23-038 |
| DESIGN BY: KI |
| DRAWN BY: KI |
| SCALE: AS NOTED |
| STAGE: CD |

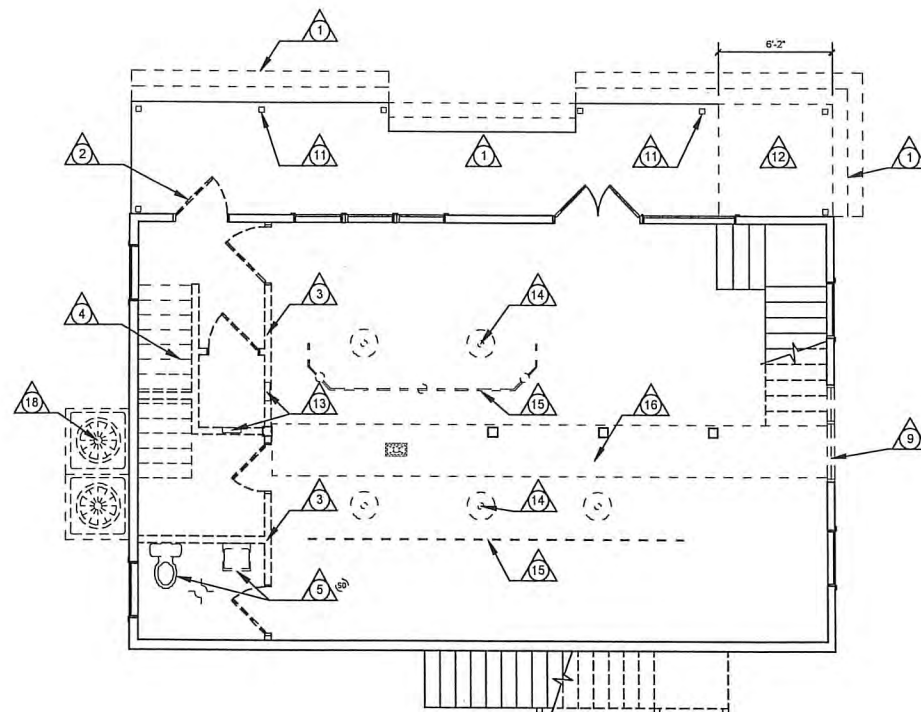
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SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



called north

DEMOLITION NOTES

1. REMOVE EXISTING EXTERIOR FRONT STAIRS AS WELL AS DECKING ON EXISTING FRONT PORCH. VERIFY SUBFRAME IS NOT ROTTED OR DAMAGED AND PREPARE FOR NEW DECKING.
2. REMOVE EXISTING DOOR AND FRAME, FILL OPENING WITH WALL TO MATCH ADJACENT EXISTING AND PREPARE FOR NEW FINISHES.
3. REMOVE EXISTING FIRST FLOOR WALLS COMPLETELY, INCLUDING DOORS AND FRAMES. PATCH FLOOR AND CEILING AS REQUIRED FOR FINISH.
4. EXISTING BACK STAIRWAY TO BE REMOVED COMPLETELY. FRAME IN FLOOR OPENING ABOVE WITH FRAMINGS TO MATCH EXISTING.
5. REMOVE EXISTING TOILET AND SINK FROM FIRST FLOOR, ALONG WITH PIPING TO BE CAPPED BELOW FLOOR OR CEILING. REMAINING PIPING MAY BE REUTILIZED FOR NEW FLOOD PREPARATION AREA.
6. EXISTING WINDOWS TO BE REMOVED FOR REPLACEMENT IN EXISTING OPENING.
7. REMOVE EXISTING SECOND FLOOR FLOORS SHOWN TO BE REMOVED COMPLETELY, INCLUDING DOORS AND FRAMES. PATCH FLOOR AND CEILING AS REQUIRED FOR FINISH, AS WELL AS REMAINING BATHROOM WALL AND NEWLY-EXPOSED PORTION OF OUTSIDE WALL. PATCH AND MATCH EXISTING FINISHES.
8. CUT OUT PORTION OF WALL FOR NEW WINDOW IN LOCATION SHOWN. PATCH AS REQUIRED TO ACCEPT NEW FINISHES.
9. REMOVE EXISTING WINDOW FOR PLACEMENT OF NEW DOOR. REWORK OPENING AS REQUIRED TO ACCOMMODATE STANDARD SIZE UNIT.
10. REMOVE EXISTING SINK FROM SECOND FLOOR. REMAINING PIPING MAY BE REUTILIZED FOR NEW SHOWER. EXISTING TOILET TO REMAIN.
11. EXISTING ROOF SUPPORT COLUMNS TO BE REMOVED WITH PORCH ROOF. IF COLUMNS EXTEND TO FOUNDATION, CUT OFF AT TOP OF FLOOR FRAMING.
12. REMOVE 1145 AREA OF PORCH FLOOR SHOWN COMPLETELY. PATCH REMAINING DECK AS REQUIRED.
13. REMOVE EXISTING ELECTRICAL PANELS AND RELOCATE TO NEW PANEL. SEE ELECTRICAL PLAN.
14. REMOVE FIVE EXISTING PENDANT LIGHTS ON FIRST FLOOR, INCLUDING JUNCTION BOXES IN CEILING. PATCH CEILING AS REQUIRED.
15. REMOVE EXISTING TRACK LIGHTING AND MOUNTING. PATCH CEILING AS REQUIRED, PREPARING FOR NEW FINISH.
16. REMOVE MECHANICAL BULKHEAD COMPLETE, INCLUDING DUCTWORK AND OUTLETS. PREPARE CEILING FOR NEW FINISH.
17. REMOVE SURFACE-MOUNTED LIGHTS AS WELL AS JUNCTION BOXES AND PATCH CEILING AS REQUIRED TO ACCEPT NEW MATCHING FINISH.
18. EXISTING PLATFORM TO BE REMOVED AND MECHANICAL UNIT TO BE DISCONNECTED AND REMOVED.

[illegible]

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KEITH WOTT LICENSE NO: 6037
EXPIRATION DATE: 3/25/2024



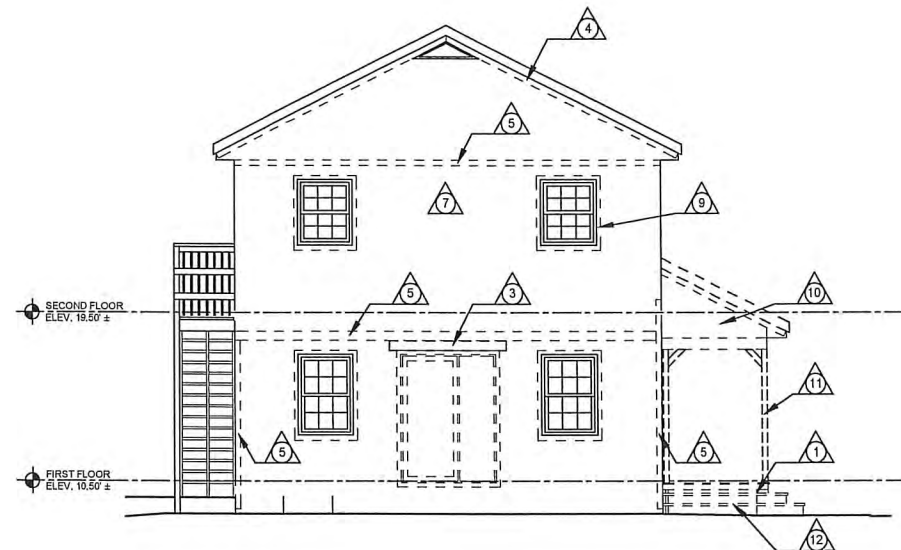
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BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
DEMOLITION PLANS

| |
|------------------------|
| DATE: NOV. 21, 2023 |
| IOTT PROJ. NO.: 23-038 |
| DESIGN BY: KI |
| DRAWN BY: M.S. |
| SCALE: 1/4" = 1'-0" |
| STAGE: PERMIT |
| DWG. FILE: 23-038-D100 |

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| D | 100 |
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SOUTH (LEFT SIDE) DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"

1. REMOVE EXISTING EXTERIOR FRONT STAIRS AS WELL AS DECKING ON EXISTING FRONT PORCH. VERIFY SUBFRAME IS NOT ROTTED OR DAMAGED AND PREPARE FOR NEW DECKING.
2. REMOVE EXISTING DOOR AND FRAME. FILL OPENING WITH WALL TO MATCH ADJACENT EXISTING AND PREPARE FOR NEW FINISHES.
3. REMOVE EXISTING ROOF STRUCTURE OVER FORMER DRIVE-THRU WINDOW COMPLETELY. PATCH OPENING W/ SHEATHING TO MATCH SIDING THICKNESS AS REQUIRED.
4. REMOVE WOOD RAKE AND EAVE TRIM AT EXISTING ROOF.
5. REMOVE EXISTING WINDOW TRIM BANDS AND CORNER TRIM COMPLETELY.
6. EXISTING WINDOWS TO BE REMOVED FOR REPLACEMENT IN EXISTING OPENING.
7. EXISTING T-11 SIDING TO REMAIN AS SHEATHING FOR NEW SIDING. REMOVE ROTTED SECTIONS AND REPLACE WITH PLYWOOD SHEATHING OF MATCHING THICKNESS.
8. CUT OUT PORTION OF WALL FOR NEW WINDOW IN LOCATION SHOWN, MATCHING SILL HEIGHT AND SIZE OF EXISTING WINDOWS ON THIS ELEVATION. PATCH AS REQUIRED TO ACCEPT NEW FINISHES.
9. REMOVE WINDOW TRIM AROUND ALL EXISTING WINDOWS AS WELL AS ANY ROTTED UNDERLAYMENT (SEE NOTE #7).
10. REMOVE EXISTING ROOF OVER PORCH COMPLETELY. PATCH WALL AS REQUIRED TO ACCEPT NEW SIDING AND TRIM FINISH.
11. REMOVE EXISTING COLUMNS SUPPORTING ROOF OVER PORCH. SEE DEMOLITION PLAN NOTE #11.
12. SEE DEMOLITION PLAN FOR EXTENT OF EXISTING PORCH BEING REMOVED AS WELL AS DEMOLITION NOTE #12.

[illegible]

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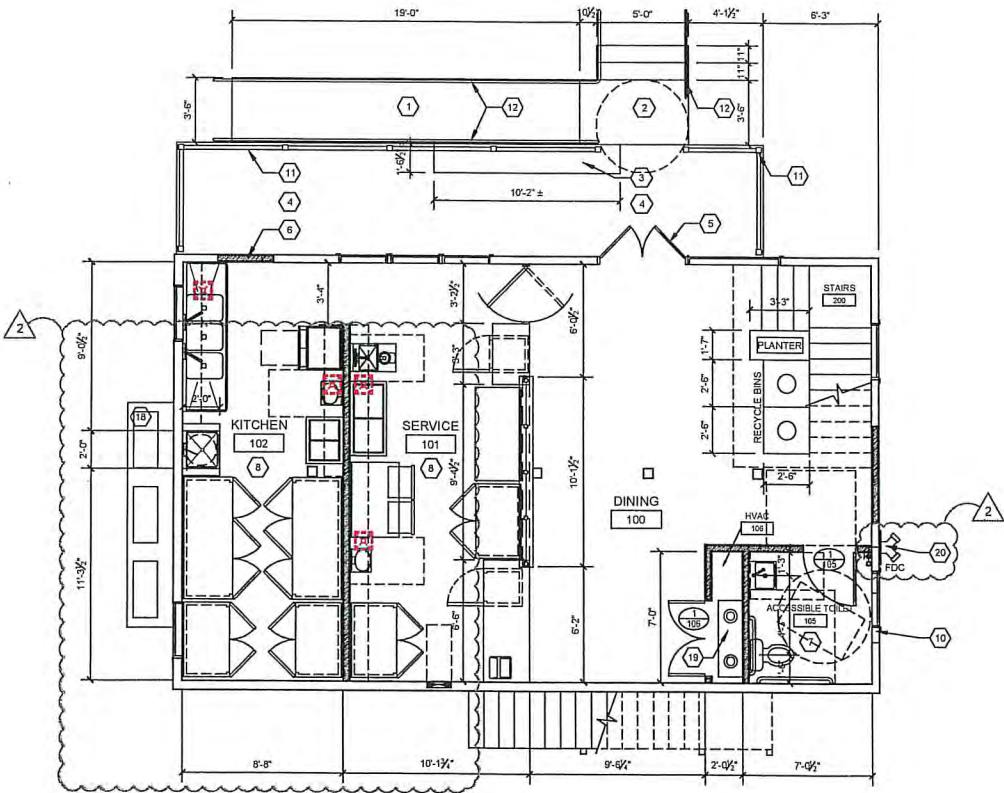
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OCEAN CITY, MARYLAND**

WEST AND SOUTH DEMOLITION ELEVATIONS

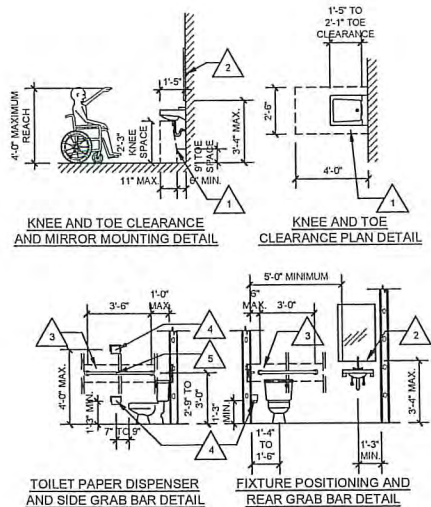
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| DATE: NOV. 21, 2023 |
| IOTT PROJ. NO.: 23-038 |
| DESIGN BY: KI |
| DRAWN BY: M.S. |
| SCALE: 1/4" = 1'-0" |
| STAGE: PERMIT |
| DWG. FILE: 23-038-D300 |



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



- ### FLOOR PLAN KEYNOTES
- 1 NEW HANDICAP RAMP. SEE DRAWING Axxx FOR DETAILS.
 - 2 EXTENSION OF EXISTING PORCH, FLOOR FRAMED w/ 2x8s @ 16" O.C. FRAME IN SAME DIRECTION AS ORIGINAL PORCH TO ALLOW FOR EXTENSION OF DECK BOARDS.
 - 3 INFILL THIS AREA WITH FRAMING AND DECKING TO MATCH REMAINDER OF PORCH.
 - 4 FRAMING OF EXISTING PORCH TO REMAIN. INSTALL NEW DECKING BOARDS ON EXISTING FRAME.
 - 5 REPLACE KNOB ON EXISTING FRONT DOOR WITH ADA-COMPLIANT LEVER HANDLE, ANSI FUNCTION F52A (ENTRY LOCKSET).
 - 6 NEW WALL AT REMOVED DOOR (PER DEMOLITION NOTE #2) REFER TO TYPICAL NEW EXTERIOR WALL DETAIL ON DRAWING A101 FOR COMPOSITION OF NEW WALL.
 - 7 SEE ACCESSIBILITY NOTES AND DETAILS ON DRAWING A100 FOR PLACEMENT OF ADA-REQUIRED ITEMS.
 - 8 SEE FOOD SERVICE DRAWING FS100 FOR TYPE AND PLACEMENT OF KITCHEN EQUIPMENT.
 - 9 INFILL HOLE IN FLOOR FROM PREVIOUS STAIRWAY (ALSO SEE DEMOLITION NOTE #4) ONCE FRAMED, SUBFLOOR TO BE 3/4" PLYWOOD. PREPARE SURFACE FOR NEW FINISH FLOOR AND FIRST FLOOR CEILING. WORK TO BE PERFORMED IN INITIAL PHASE OF CONSTRUCTION.
 - 10 APPROXIMATE LOCATION OF CRAWL SPACE ACCESS. LOCATE STAIRS SO THERE IS NO INTERFERENCE FOR ACCESSING CRAWL SPACE.
 - 11 INSTALL 36" HIGH WOOD GUARDRAIL AROUND PORCH AND DECK.
 - 12 ALUMINUM HANDRAIL AT 34" ABOVE RAMP OR STAIR, SECURED TO WOOD SUPPORT POSTS.
 - 13 VERIFY EXISTING TOILET IS IN WORKING ORDER, IF SO IT WILL REMAIN. ANY NEW TOILET REQUIRED WILL BE IN SAME LOCATION AND USE EXISTING PLUMBING. WORK TO BE PERFORMED IN A FUTURE PHASE.
 - 14 INFILL HOLE IN FLOOR FROM PREVIOUS STAIRWAY OPENING. ONCE FRAMED, SUBFLOOR TO BE 3/4" PLYWOOD. PREPARE SURFACE FOR NEW FINISH FLOOR AND FIRST FLOOR CEILING. WORK TO BE PERFORMED IN INITIAL PHASE OF CONSTRUCTION.
 - 15 NEW ROD AND SHELF @ 66" A.F.F. IN CLOSETS. WORK TO BE PERFORMED IN A FUTURE PHASE.
 - 16 NEW 36" LONG VANITY w/ LAMINATED PLYWOOD COUNTERTOP AND DROP-IN SINK. WORK TO BE PERFORMED IN A FUTURE PHASE.
 - 17 REPAINT EXISTING DOOR AND REPLACE WEATHERSTRIPPING AS REQUIRED. PROVIDE AND INSTALL NEW LEVER-HANDLE LOCKSET SIMILAR TO THAT CALLED OUT IN NOTE #5. WORK TO BE PERFORMED IN A FUTURE PHASE.
 - 18 NEW MECHANICAL PLATFORM TO REQUIRED HEIGHT, SIZED TO PROVIDE REQUIRED CLEARANCES AROUND UNITS - VERIFY WITH MANUFACTURER.
 - 19 NEW RENEWABLE ENERGY UNIT IN CLOSET - SEE MECHANICAL.
 - 20 NEW FIRE DEPARTMENT CONNECTION, VALVE, AND SPRINKLER RISER.



ACCESSIBILITY NOTES

IN GENERAL, TOILET ROOMS IN PUBLIC SPACES AND ASSOCIATED FIXTURES ARE TO COMPLY WITH 2010 ADA STANDARDS SECTION 213 - "TOILET FACILITIES AND BATHING FACILITIES", AND OTHER SECTIONS REFERRED TO THEREIN AND WITHIN THESE NOTES. REFER TO ADA STANDARDS FOR SPECIFIC GUIDANCE.

- 1 KNEE AND TOE SPACE PER 2010 ADA STANDARDS, FIGURES 305.2 AND 306.3.
- 2 SET BOTTOM OF REFLECTIVE SURFACE OF MIRROR NO MORE THAN 40" A.F.F. WHERE MIRROR IS NOT OVER COUNTER OR LAVATORY. SET BOTTOM OF REFLECTIVE SURFACE NO HIGHER THAN 35" A.F.F. (ADA STANDARD 603.3).
- 3 PROVIDE 2x12 BLOCKING BETWEEN WALL FRAMING STUDS FOR GRAB BAR MOUNTING. CENTER OF BLOCKING TO BE 34" A.F.F. (TYPICAL).
- 4 TOILET PAPER DISPENSER COMPLYING WITH ADA STANDARD 604.7. MOUNT DISPENSER (CENTER OF ROLL) AT 17" - 19" A.F.F. WHERE POSSIBLE.
- 5 GRAB BAR COMPLYING WITH ADA STANDARD 604.5. STRUCTURE IS DESIGNED SO THAT REAR BAR EXCEPTIONS WILL NOT APPLY, BUT VERIFY WITH AUTHORITY HAVING JURISDICTION.

| REVISIONS | |
|-----------|------------|
| NO. | DATE |
| 1 | 10-21-2023 |
| 2 | 1-23-2024 |

DESCRIPTION OF THE REVISIONS
1. PHASING AND REF #1
2. REVISED KITCHEN, COOLERS AND FREEZERS

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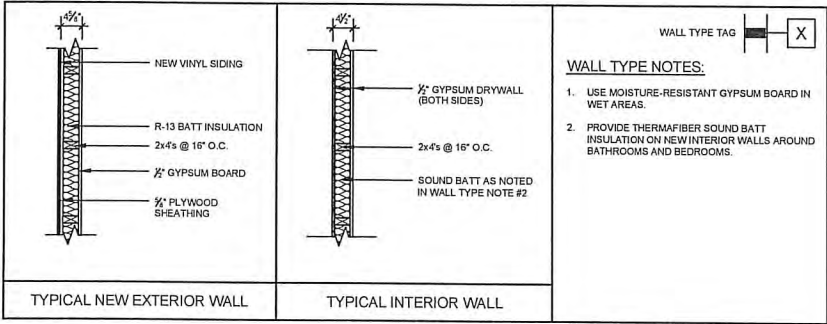
BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
FIRST FLOOR PLAN

DATE: NOV 21, 2023
IOTT PROJ. NO.: 23-038
DESIGN BY: KI
DRAWN BY: M.S.
SCALE: AS NOTED
STAGE: PERMIT
DWG. FILE: 23-038-A100

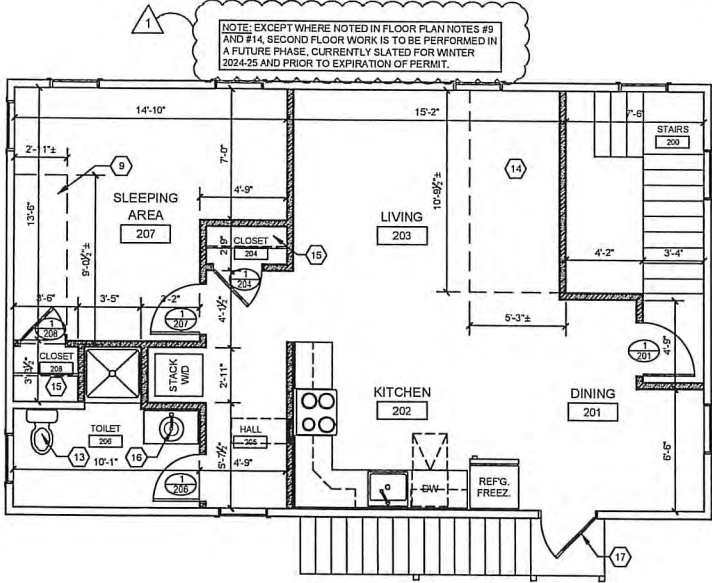
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| DOOR SCHEDULE | | | | | | | | | | | | | |
|---------------|-----------|--------|--------|---------------------|-------------|--------|--------|----------|--------|-------|------|--------|---------------------|
| DOORS | | | | | | FRAMES | | | | | | | |
| FIRST FLOOR | | | | | | | | | | | | | |
| NO. | WIDTH | HEIGHT | THICK. | MATERIAL | FINISH | TYPE | RATING | MATERIAL | FINISH | HOWL. | TYPE | RATING | REMARKS |
| 1/105 | 2'-10" | 6'-8" | 1 3/8" | SOLID CORE MASONITE | PAINT | SC | | WOOD | PAINT | 5 | | | |
| 1/106 | (2) 2'-0" | 6'-8" | 1 3/8" | SOLID CORE MASONITE | PAINT | SC | | WOOD | PAINT | 6 | | | ACTIVE LEAF TO WALL |
| SECOND FLOOR | | | | | | | | | | | | | |
| 1/201 | 2'-10" | 6'-8" | 1 3/8" | SOLID CORE MASONITE | PREFINISHED | SC | | WOOD | PAINT | 1 | | | |
| 1/204 | 2'-8" | 6'-8" | 1 3/8" | SOLID CORE MASONITE | PREFINISHED | SC | | WOOD | PAINT | 2 | | | |
| 1/206 | 2'-6" | 6'-8" | 1 3/8" | SOLID CORE MASONITE | PREFINISHED | SC | | WOOD | PAINT | 5 | | | |
| 1/207 | 2'-8" | 6'-8" | 1 3/8" | SOLID CORE MASONITE | PREFINISHED | SC | | WOOD | PAINT | 5 | | | |
| 1/208 | 2'-8" | 6'-8" | 1 3/8" | SOLID CORE MASONITE | PREFINISHED | SC | | WOOD | PAINT | 2 | | | |

| HARDWARE SCHEDULE | | | | | | | | | |
|-------------------|-----------|------------------|------|---------------|--------|----------|----------|---|--|
| NO. | HINGE PR. | LOCKSET FUNCTION | ANSI | STOP | CLOSER | THRESHD. | W/STRIP. | OTHER/ADDITIONAL | |
| 1 | 1.5 PR. | ENTRY | F82A | WALL | * | | | | |
| 2 | 1.5 PR. | PASSAGE | F75 | HINGE PIN | | | | | |
| 3 | 1.5 PR. | PASSAGE | F75 | WALL | | | | | |
| 4 | 1.5 PR. | PRIVACY | F76B | HINGE PIN | | | | | |
| 5 | 1.5 PR. | PRIVACY | F76B | WALL | | | | | |
| 6 | 3 PR. | PASSAGE - DUMMY | F75 | (2) HINGE PIN | | | | ACTIVE LEAF TO WALL - SURFACE BOLT ON INACTIVE LEAF | |



WALL TYPES
SCALE: 3/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



- FLOOR PLAN KEYNOTES**
- NEW HANDICAP RAMP. SEE DRAWING Axxx FOR DETAILS.
 - EXTENSION OF EXISTING PORCH. FLOOR FRAMED w/ 2x8s @ 16" O.C. FRAME IN SAME DIRECTION AS ORIGINAL PORCH TO ALLOW FOR EXTENSION OF DECK BOARDS.
 - INFILL THIS AREA WITH FRAMING AND DECKING TO MATCH REMAINDER OF PORCH.
 - FRAMING OF EXISTING PORCH TO REMAIN. INSTALL NEW DECKING BOARDS ON EXISTING FRAME.
 - REPLACE KNOB ON EXISTING FRONT DOOR WITH ADA-COMPLIANT LEVER HANDLE. ANSI FUNCTION F82A (ENTRY LOCKSET).
 - NEW WALL AT REMOVED DOOR (PER DEMOLITION NOTE #2.) REFER TO TYPICAL NEW EXTERIOR WALL DETAIL ON DRAWING A101 FOR COMPOSITION OF NEW WALL.
 - SEE ACCESSIBILITY NOTES AND DETAILS ON DRAWING A100 FOR PLACEMENT OF ADA-REQUIRED ITEMS.
 - SEE FOOD SERVICE DRAWING FS100 FOR TYPE AND PLACEMENT OF KITCHEN EQUIPMENT.
 - INFILL HOLE IN FLOOR FROM PREVIOUS STAIRWAY (ALSO SEE DEMOLITION NOTE #4) ONCE FRAMED, SUBFLOOR TO BE 3/4" PLYWOOD. PREPARE SURFACE FOR NEW FINISH FLOOR AND FIRST FLOOR CEILING. WORK TO BE PERFORMED IN INITIAL PHASE OF CONSTRUCTION.
 - APPROXIMATE LOCATION OF CRAWL SPACE ACCESS. LOCATE STAIRS SO THERE IS NO INTERFERENCE FOR ACCESSING CRAWL SPACE.
 - INSTALL 36" HIGH WOOD GUARDRAIL AROUND PORCH AND DECK.
 - ALUMINUM HANDRAIL AT 34" ABOVE RAMP OR STAIR, SECURED TO WOOD SUPPORT POSTS.
 - VERIFY EXISTING TOILET IS IN WORKING ORDER. IF SO IT WILL REMAIN. ANY NEW TOILET REQUIRED WILL BE IN SAME LOCATION AND USE EXISTING PLUMBING. WORK TO BE PERFORMED IN A FUTURE PHASE.
 - INFILL HOLE IN FLOOR FROM PREVIOUS STAIRWAY OPENING. ONCE FRAMED, SUBFLOOR TO BE 3/4" PLYWOOD. PREPARE SURFACE FOR NEW FINISH FLOOR AND FIRST FLOOR CEILING. WORK TO BE PERFORMED IN INITIAL PHASE OF CONSTRUCTION.
 - NEW ROD AND SHELF @ 66" A.F.F. IN CLOSETS. WORK TO BE PERFORMED IN A FUTURE PHASE.
 - NEW 36" LONG VANITY w/ LAMINATED PLYWOOD COUNTERTOP AND DROP-IN SINK. WORK TO BE PERFORMED IN A FUTURE PHASE.
 - REPAINT EXISTING DOOR AND REPLACE WEATHERSTRIPPING AS REQUIRED. PROVIDE AND INSTALL NEW LEVER-HANDLE LOCKSET SIMILAR TO THAT CALLED OUT IN NOTE #5. WORK TO BE PERFORMED IN A FUTURE PHASE.
 - NEW MECHANICAL PLATFORM TO REQUIRED HEIGHT, SIZED TO PROVIDE REQUIRED CLEARANCES AROUND UNITS - VERIFY WITH MANUFACTURER.
 - NEW RENEWAIRE ERV UNIT IN CLOSET - SEE MECHANICAL.

| REVISIONS | | | REMARKS |
|-----------|-----------|--------------------|---------|
| NO. | DATE | PHASING AND REF #1 | |
| 1 | 12-1-2023 | | |

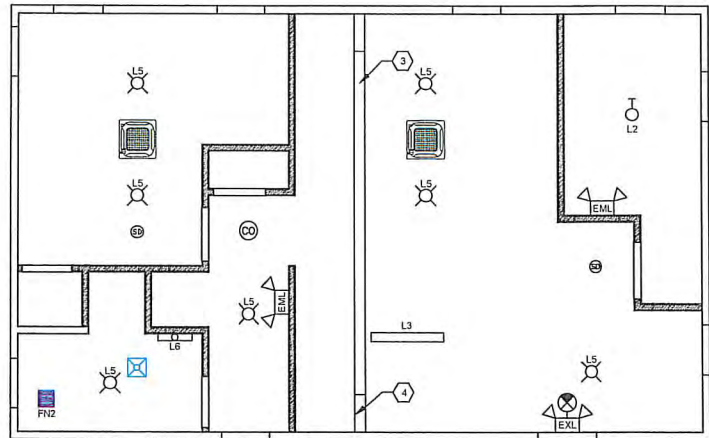


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BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
SECOND FLOOR PLAN

| | |
|------------------------|-----------------------|
| DATE: NOV 31, 2023 | NOT PROJ. NO.: 23-038 |
| DESIGN BY: KI | DRAWN BY: M.S. |
| SCALE: AS NOTED | STAGE: PERMIT |
| DWG. FILE: 23-038-A100 | |

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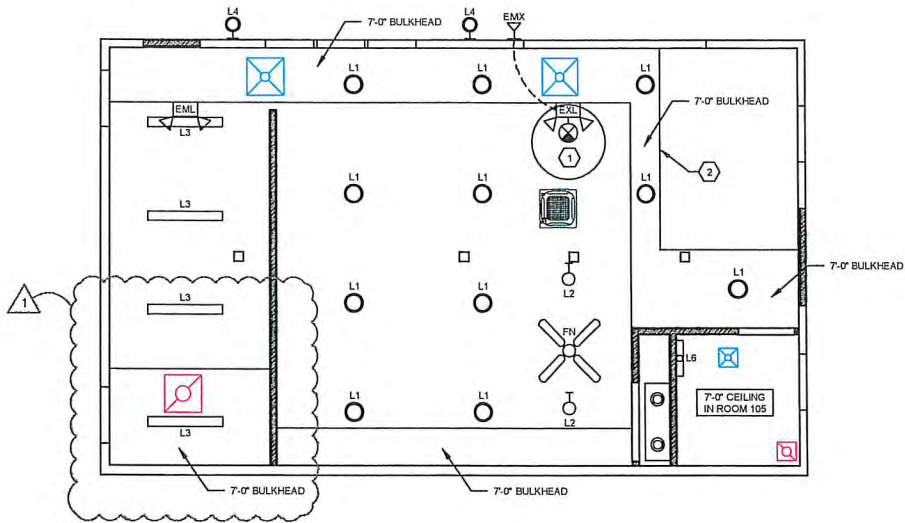


SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN NOTES

- GENERAL NOTE: CEILING HEIGHT IS UNDERSIDE OF EXISTING FRAMING LESS 1/2" FOR GYPSUM WALLBOARD UNLESS OTHERWISE NOTED.
- 1 LOCATION OF CEILING-MOUNTED LOGO SIGN, PROVIDED BY TENANT AND INSTALLED BY CONTRACTOR.
 - 2 NEW EDGE OF SECOND FLOOR OPENING. SEE FLOOR PLAN FOR EXTENT OF INFILL. CEILING FINISH TO MATCH ADJACENT EXISTING.
 - 3 EXISTING BULKHEAD TO REMAIN, HEIGHT VARIES.
 - 4 ADJUST END OF NEW KITCHEN WALL CABINETS AS REQUIRED TO AVOID BULKHEAD. VERIFY ALLOWABLE DIMENSIONS IN FIELD BEFORE ORDERING.

| REFLECTED CEILING PLAN SCHEDULE | | | |
|---------------------------------|--------|---|---------------|
| MARK | SYMBOL | MANUFACTURER/MODEL | REMARKS |
| L1 | | RECESSED LED CAN LIGHT FIXTURE SUITABLE FOR GENERAL USE. | |
| L2 | | SUSPENDED LED PENDANT FIXTURE. | |
| L3 | | 4" THIN PROFILE LINEAR LED FIXTURE (SHOWN ON SCHEDULE SMALLER THAN ACTUAL SIZE.) | |
| L4 | | WALL-MOUNTED LED SCONCE FIXTURE, RATED FOR OUTDOOR USE. | |
| L5 | | CEILING-MOUNTED ROUND LED FIXTURE. | |
| L6 | | THREE-LIGHT LED FIXTURE FOR PLACEMENT OVER VANITY. | |
| EML | | EMERGENCY LIGHT FOR PUBLIC AREAS. CONNECT TO PANEL PN-1. | |
| EMX | | BATTERY-POWERED EXTERIOR EMERGENCY LIGHT COORDINATED w/ INTERIOR EMERGENCY LIGHTING. CONNECT TO PANEL PN-1. | |
| EXL | | COMBINATION EXIT/EMERGENCY LIGHT WITH RECHARGEABLE BATTERY, MOUNTED ON WALL. | |
| FN1 | | 60" 4-BLADE CEILING FAN (SHOWN ON SCHEDULE SMALLER THAN ACTUAL SIZE.) | |
| FN2 | | 50 CFM BATHROOM EXHAUST FAN, SEE MECHANICAL. | |
| | | CEILING-MOUNTED SUPPLY AIR OUTLET, SEE MECHANICAL FOR SIZE AND OUTPUT. | |
| | | CEILING-MOUNTED AIR RETURN, SEE MECHANICAL FOR SIZE. | |
| | | CEILING-MOUNTED IDU, SEE MECHANICAL. | |
| | | PHOTOELECTRIC SMOKE DETECTOR. | HOCHIKI ALH-V |
| | | MULTI-FUNCTION SMOKE AND CARBON MONOXIDE DETECTOR. | HOCHIKI ACD-V |



FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



REVISIONS

| NO. | DATE | REMARKS |
|-----|------|---------|
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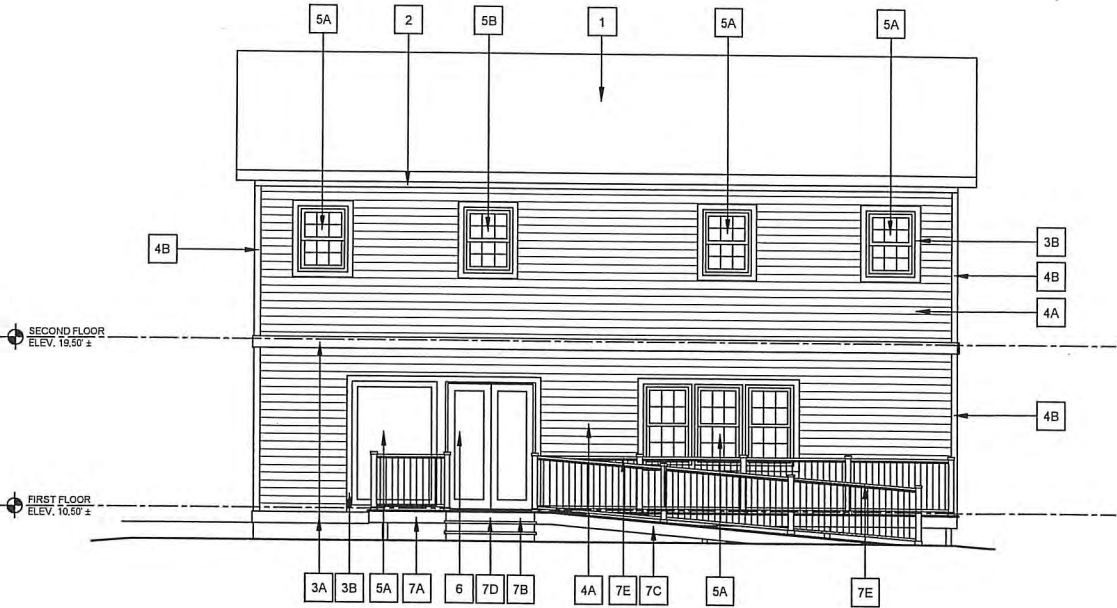
BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND

REFLECTED CEILING PLANS

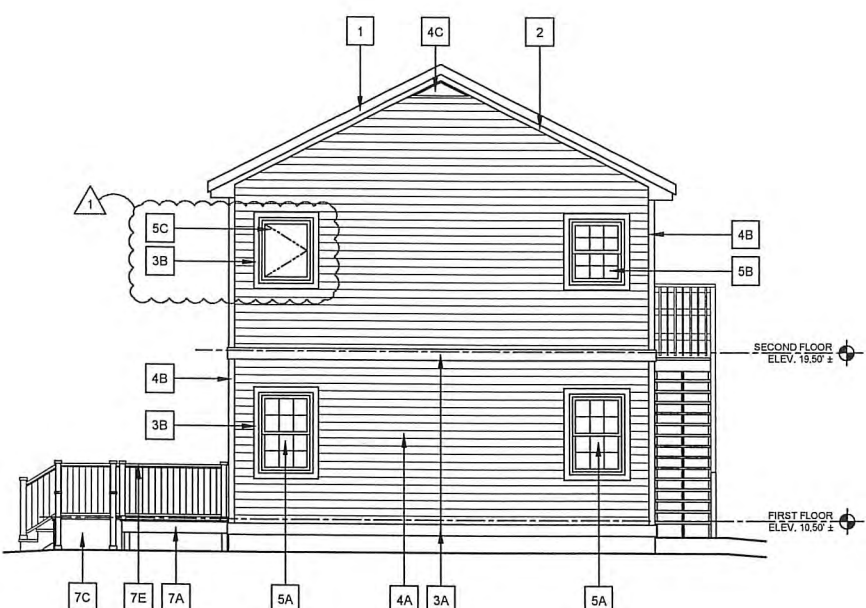
DATE: NOV. 21, 2023
OTT PROJ. NO.: 23-038
DESIGN BY: KI
DRAWN BY: M.S.
SCALE: 1/4" = 1'-0"
STAGE: PERMIT
DWG. FILE: 23-038-A-000

A 200

| ELEVATION KEYNOTE SCHEDULE | | | |
|----------------------------|--|---------------|--------------------------------|
| KEY | DESCRIPTION | COLOR/ FINISH | MANUFACTURER (BASIS OF DESIGN) |
| 1 | EXISTING METAL ROOF (TO REMAIN) | | |
| 2 | 1 x 4 COMPOSITE SUREEDGE FRIEZE BOARD | | |
| 3A | 1 x 8 COMPOSITE TRIM AND SKIRT BOARD | | |
| 3B | 1 x 4 COMPOSITE WINDOW SURROUNDS | | |
| 4A | VINYL SIDING | | |
| 4B | VINYL CORNER TRIM (BY SIDING MANUFACTURER) | | |
| 4C | EXISTING ATTIC VENT | | |
| 5A | EXISTING WINDOW TO REMAIN | | |
| 5B | NEW DOUBLE-HUNG VINYL WINDOW | | |
| 5C | NEW CASEMENT EGRESS WINDOW | | |
| 6 | EXISTING DOOR TO REMAIN | | |
| 7A | EXISTING DECK WITH NEW FLOOR FINISH | | |
| 7B | NEW TREATED WOOD-FRAMED DECK | | |
| 7C | NEW TREATED WOOD-FRAMED RAMP | | |
| 7D | NEW WOOD-FRAMED STAIR | | |
| 7E | VINYL RAILING SYSTEM | | |
| 7F | EXISTING CRAWL SPACE ACCESS | | |
| 7G | EXISTING EXIT STAIR FOR SECOND FLOOR | | |
| 8 | MECHANICAL LOUVER | | |



EAST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"



NORTH (RIGHT SIDE) ELEVATION
SCALE: 1/4" = 1'-0"

| REVISIONS | |
|---------------------------------------|-----------|
| NO. | DATE |
| 1 | 1-22-2024 |
| REMARKS | |
| EGRESS WINDOW - CODE OFFICIAL COMMENT | |

I CERTIFY THAT THESE DOCUMENTS HAVE BEEN PREPARED OR SUPERVISED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MARYLAND.

1/31/24

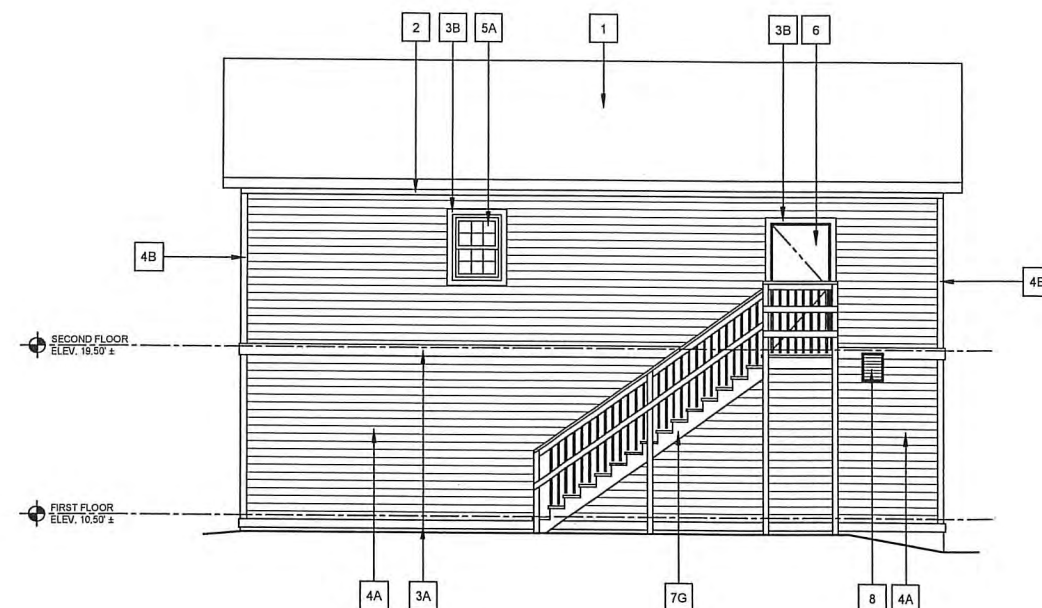
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BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
EAST AND NORTH ELEVATIONS

DATE: NOV. 21, 2023
NOTT PROJ. NO.: 23-038
DESIGN BY: KI
DRAWN BY: M.S.
SCALE: 1/4" = 1'-0"
SHEET: PERMIT
DWG. FILE: 23-038-A300

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300

| ELEVATION KEYNOTE SCHEDULE | | | |
|----------------------------|--|---------------|--------------------------------|
| KEY | DESCRIPTION | COLOR/ FINISH | MANUFACTURER (BASIS OF DESIGN) |
| 1 | EXISTING METAL ROOF (TO REMAIN) | | |
| 2 | 1 x 4 COMPOSITE SUREEDGE FRIEZE BOARD | | |
| 3A | 1 x 8 COMPOSITE TRIM AND SKIRT BOARD | | |
| 3B | 1 x 4 COMPOSITE WINDOW SURROUNDINGS | | |
| 4A | VINYL SIDING | | |
| 4B | VINYL CORNER TRIM (BY SIDING MANUFACTURER) | | |
| 4C | EXISTING ATTIC VENT | | |
| 5A | EXISTING WINDOW TO REMAIN | | |
| 5B | NEW DOUBLE-HUNG VINYL WINDOWS | | |
| 5C | NEW CASEMENT EGRESS WINDOW | | |
| 6 | EXISTING DOOR TO REMAIN | | |
| 7A | EXISTING DECK WITH NEW FLOOR FINISH | | |
| 7B | NEW TREATED WOOD-FRAMED DECK | | |
| 7C | NEW TREATED WOOD-FRAMED RAMP | | |
| 7D | NEW WOOD-FRAMED STAIR | | |
| 7E | VINYL RAILING SYSTEM | | |
| 7F | EXISTING CRAWL SPACE ACCESS | | |
| 7G | EXISTING EXIT STAIR FOR SECOND FLOOR | | |
| 8 | MECHANICAL LOUVER | | |



WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH (LEFT SIDE) ELEVATION
SCALE: 1/4" = 1'-0"

[illegible]

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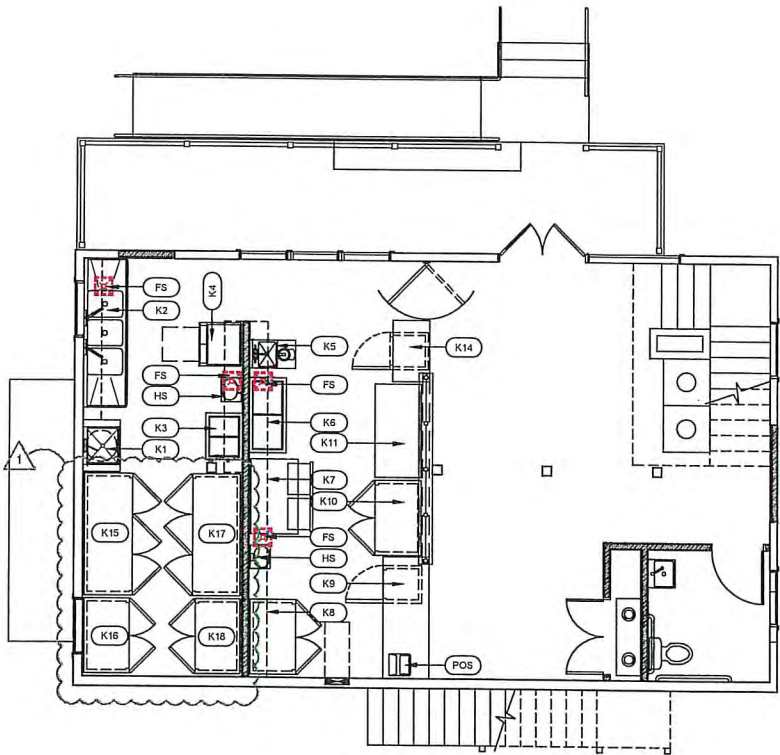
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BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND

| |
|-----------------------|
| DATE: NOV. 21, 2023 |
| NOT PROJ. NO.: 23-038 |
| DESIGN BY: KI |
| DRAWN BY: M.S. |
| SCALE: 1/4" = 1'-0" |
| STAGE: PERMIT |

A 301

| FOOD SERVICE EQUIPMENT SCHEDULE | | | | | | | | | | | | | |
|---------------------------------|------------------------------|---------------|----------------|--------------|------|-----|------|------------|-----|-------|------|------|--|
| KEY | NAME | MANUFACTURER | MODEL | ELECTRICAL | AMPS | HP | WATT | PLUG | GAS | BTU | HOT | COLD | WASTE |
| REMARKS | | | | | | | | | | | | | |
| K1 | MOP SINK | REGENCY | 808SM16298 | | | | | | | | 1/2" | 1/2" | 2" |
| K2 | THREE-COMPARTMENT SINK | EAGLE GROUP | 314-18-3-18 | | | | | | | | 1/2" | 1/2" | 1 1/2" |
| K3 | FOOD PREP TABLE | TRUE | TSSU 36-08-HC | 115/60/1 | 4.5 | 1/4 | | NEMA 5-15P | | | | | |
| K4 | ICE MACHINE | MAINTOWNCO | UDF-0240A | 115-120/60/1 | 7 | | | NEMA 5-15P | | 2,700 | | 3/8" | 1/2" + 3/4" |
| K5 | BLENDER SINK | ADVANCE TABCO | PRRS24-18 | | | | | | | | 1/2" | 1/2" | 1 1/2" |
| K6 | FOOD PREP TABLE | TRUE | TSSU 48-12-HC | 115/60/1 | 5.8 | 1/3 | | NEMA 5-15P | | | | | |
| K7 | WORKTOP FREEZER WITH DRAWERS | BEVERAGE-AIR | WTFD4BAHC | 115/60/1 | 5 | 1/2 | | NEMA 5-15P | | 1,868 | | | |
| K8 | WORKTOP REFRIGERATOR | TRUE | TWT-48-HC | 115/60/1 | 3 | 1/5 | | NEMA 5-15P | | | | | |
| K9 | UNDERCOUNTER REFRIGERATOR | TRUE | TUC-27-HC | 115/60/1 | 2 | 1/6 | | NEMA 5-15P | | | | | |
| K10 | WORKTOP FREEZER | TRUE | TWT-48F-HC | 115/60/1 | 3.2 | 1/2 | | NEMA 5-15P | | | | | |
| K11 | FOOD PREP TABLE | BEVERAGE-AIR | SPE60HC-24M-17 | 115/60/1 | 5.4 | 1/2 | | NEMA 5-15P | | 1,549 | | | |
| K12 | DUNNAGE SHELVING | REGENCY | 460EG2448-HCK | | | | | | | | | | (NO LONGER USED) |
| K13 | DUNNAGE SHELVING | REGENCY | 460EG2436-HCK | | | | | | | | | | (NO LONGER USED) |
| K14 | UNDERCOUNTER FREEZER | TRUE | TUC-24F-HC | 115/60/1 | 2.3 | 1/4 | | NEMA 5-15P | | | | | |
| K15 | THREE-DOOR REFRIGERATOR | TRUE | TS-72-HC | 115/60/1 | 6.9 | 3/4 | | NEMA 5-15P | | | | | |
| K16 | TWO-DOOR REFRIGERATOR | TRUE | TS-43-HC | 115/60/1 | 5.4 | 1/2 | | NEMA 5-15P | | | | | |
| K17 | THREE-DOOR FREEZER | TRUE | TS-72F-HC | 115/60/1 | 14 | 3/4 | | NEMA 5-15P | | | | | |
| K18 | TWO-DOOR FREEZER | TRUE | TS-43F-HC | 115/60/1 | 9.8 | 1 | | NEMA 5-15P | | | | | |
| FS | FLOOR SINK | ZURN | Z1751 | | | | | | | | | | 3" |
| HS | HAND SINK | ADVANCE TABCO | 7-PS-60 | | | | | | | | 1/2" | 1/2" | 1 1/2" |
| POS | POINT OF SALE | | | | | | | | | | | | DRAIN TO ADJACENT FLOOR SINK SUPPLIED/INSTALLED BY TENANT |



FIRST FLOOR FOOD SERVICE PLAN
SCALE: 1/4" = 1'-0"

| REVISIONS | | REMARKS | |
|-----------|-----------|---------|------|
| NO. | DATE | NO. | DATE |
| 1 | 1-25-2024 | | |

I CERTIFY THAT THESE PLANS WERE PREPARED OR REVISED BY ME OR A PERSON AUTHORIZED BY ME TO DO SO. I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

I, *[Signature]*, 1/25/2024

WITH NOT A LICENSED AND NOT A PROFESSIONAL ENGINEER

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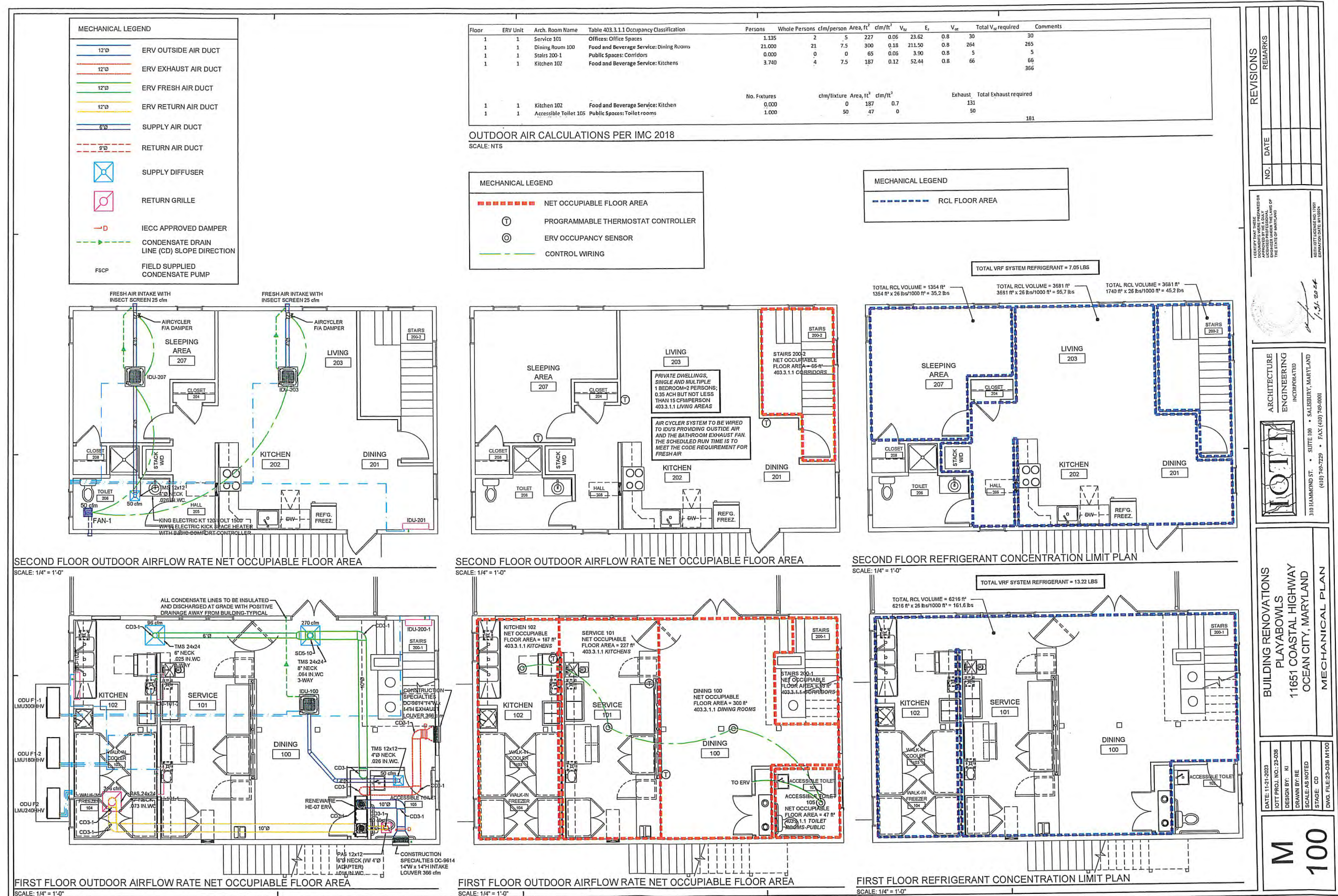
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BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
FOOD SERVICE PLAN

DATE: NOV. 21, 2023
NOT PROJ. NO.: 23-038
DESIGN BY: KI
DRAWN BY: M.S.
SCALE: 1/4" = 1'-0"
STAGE: PERMIT
DWG. FILE: 23-038-FS100

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100

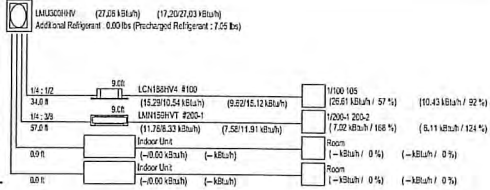




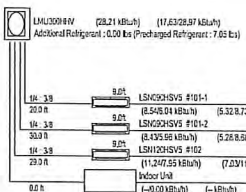
| Location | Tag | Room Name | Room Load (BTU/h) | | Corrected Capax/Room Load (%) | | | Model Name | Type | Quantity | Multi_Single CAC Indoor Unit | | | | | Room Design Temp.(Return Air Temp.) (°F) | | Air flow rate(CFM) | Piping | | Power Supply | Weight (lbs) | Dimension (inch) W x H x D | Sound Power Level (dB(A)) | Sound Pressure Level | | |
|------------|-------|---------------|-------------------|---------|-------------------------------|----------|---------|------------|------------|----------------|------------------------------|----------|---------------------------|----------|-------------|--|-------------|--------------------|--------|-----------------|--------------|--------------|-------------------------------|---------------------------|------------------------|--|----------|
| | | | Cooling | Heating | Cooling | Sensible | Heating | | | | Nominal Capacity(BTU/h) | | Corrected Capacity(BTU/h) | | Cooling DBT | Cooling WBT | Heating DBT | | Liquid | Gas | | | | | | | |
| | | | | | | | | | | | Cooling | Heating | Cooling | Sensible | Heating | | | | | | | | | | | | |
| Multi F1-1 | 100 | 1/100 105 | 7799 | 5316 | 3057 | 57.4 | 58.1 | 92.3 | LCN188HV4 | Cassette 4-way | 1 | 18000.00 | 20800.00 | 15296.64 | 10541.46 | 9622.58 | 80.6 | 67.1 | 68.0 | 459 / 424 / 388 | 1/4 | 1/2 | 1/208-230/60 | 32 | 22-7/16x10-3/32x22- | | 41/39/36 |
| Multi F1-1 | 200-1 | 1/200-1 200-2 | 2057 | 1603 | 1791 | 157.8 | 152.3 | 124.0 | LMN158HVT | Wall Mounted | 1 | 14335.01 | 10440.00 | 11776.85 | 8331.51 | 7576.97 | 80.6 | 67.1 | 68.0 | 314 / 268 / 184 | 1/4 | 3/8 | 1/208-230/60 | 18.3 | 32-15/16x12-1/8x7-7/16 | | 42/38/32 |
| Multi F1-2 | 101-1 | 1/101 | 5393 | 4836 | 1471 | 46.4 | 36.6 | 105.9 | LSN090HSV5 | Wall Mounted | 1 | 9022.18 | 6580.00 | 8540.87 | 5316.00 | 6042.22 | 80.6 | 67.1 | 68.0 | 268 / 218 / 169 | 1/4 | 3/8 | 1/208-230/60 | 18.3 | 32-15/16x12-1/8x7-7/16 | | 36/32/27 |
| Multi F1-2 | 102 | 1/102 | 3274 | 2553 | 1533 | 45.8 | 36.1 | 105.2 | LSN090HSV5 | Wall Mounted | 1 | 9022.18 | 6580.00 | 8428.54 | 5982.76 | 5281.04 | 80.6 | 67.1 | 68.0 | 268 / 218 / 169 | 1/4 | 3/8 | 1/208-230/60 | 18.3 | 32-15/16x12-1/8x7-7/16 | | 36/32/27 |
| Multi F2 | 207 | 2/208 207 | 1808 | 1682 | 1911 | 100.6 | 91.3 | 134.5 | LSN120HSV5 | Wall Mounted | 1 | 12029.40 | 8730.00 | 11241.42 | 7952.72 | 7034.84 | 80.6 | 67.1 | 68.0 | 282 / 233 / 177 | 1/4 | 3/8 | 1/208-230/60 | 18.3 | 32-15/16x12-1/8x7-7/16 | | 36/34/29 |
| Multi F2 | 203 | 2/203 204 205 | 1764 | 1416 | 1181 | 137.0 | 101.5 | 91.1 | LCN088HV4 | Cassette 4-way | 1 | 9022.18 | 6580.00 | 8450.92 | 5827.64 | 5816.12 | 80.6 | 67.1 | 68.0 | 300 / 265 / 230 | 1/4 | 3/8 | 1/208-230/60 | 29 | 22-7/16x8-7/16x22-7/16 | | 36/33/30 |
| Multi F2 | 201 | 2/201 202 | 1149 | 1025 | 988 | 162.2 | 128.5 | 131.9 | LMN079HVT | Wall Mounted | 1 | 7017.10 | 5130.00 | 6359.71 | 4459.16 | 4445.67 | 80.6 | 67.1 | 68.0 | 254 / 204 / 148 | 1/4 | 3/8 | 1/208-230/60 | 18.3 | 32-15/16x12-1/8x7-7/16 | | 35/31/26 |

LG EQUIPMENT SCHEDULE

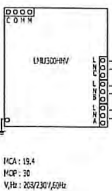
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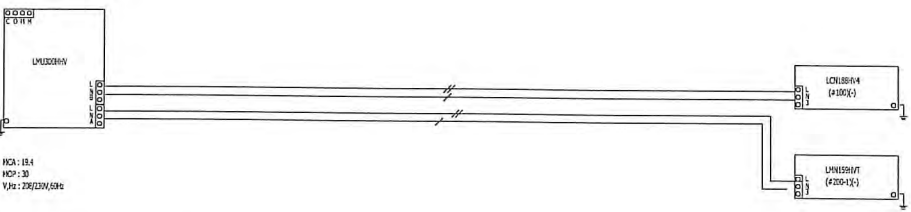
Power line (Outdoor unit)
Power line (Indoor unit / HR unit)
Communication line (DOU+DOU / DOU+DOU): Twisted, Stranded and shielded AWG 14 x 4C
Communication line (DOU+DOU): Twisted, Stranded and shielded AWG 18 x 2C
Communication line (Remote controller): Twisted and stranded AWG 22 x 3C
Ground shield wire at DOU only



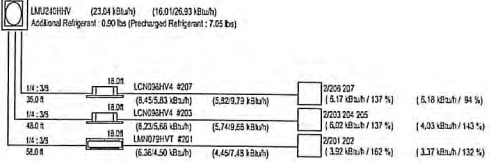
Power line (Outdoor unit)
Power line (Indoor unit / HR unit)
Communication line (DOU+DOU / DOU+DOU): Twisted, Stranded and shielded AWG 14 x 4C
Communication line (DOU+DOU): Twisted, Stranded and shielded AWG 18 x 2C
Communication line (Remote controller): Twisted and stranded AWG 22 x 3C
Ground shield wire at DOU only



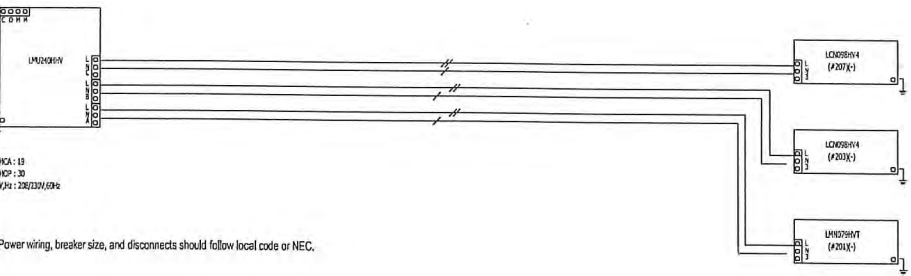
Power wiring, breaker size, and disconnects should follow local code or NEC.



Power wiring, breaker size, and disconnects should follow local code or NEC.



Power line (Outdoor unit)
Power line (Indoor unit / HR unit)
Communication line (DOU+DOU / DOU+DOU): Twisted, Stranded and shielded AWG 14 x 4C
Communication line (DOU+DOU): Twisted, Stranded and shielded AWG 18 x 2C
Communication line (Remote controller): Twisted and stranded AWG 22 x 3C
Ground shield wire at DOU only



Power wiring, breaker size, and disconnects should follow local code or NEC.

LG EQUIPMENT DIAGRAMS

SCALE: NTS

Project Number: O-143649
Project Name: 23-038
Unit Tag: ERV-1
Model: HE07-JNH-S11AA-GNTE-L
Qty: 1

Energy Recovery Report - SUMMER

| | | | |
|-------------------------------------|------------------|-------------------|-----------|
| Inlet Air Flow Rate (SCFM): 366 | Supply Airstream | Exhaust Airstream | 366 |
| Outlet Air Flow Rate (SCFM): 378 | | | 354 |
| Core Pressure Drop (in. w.g.): 0.48 | | | 0.48 |
| Filter: 2" MERV 8 | | | 2" MERV 8 |

| | | | | | |
|---------------------------------|-------------------|-------------------|------|------------------|------|
| Dry Bulb Temperature (°F): 95.0 | Outside Air Inlet | Supply Air Outlet | 75.0 | Return Air Inlet | 75.0 |
| Wet Bulb Temperature (°F): 78.0 | | | 70.0 | | 62.6 |
| Relative Humidity (%): 47.3 | | | 60.0 | | 50.0 |

Elevation (ft): 13

| | |
|--|-----------------------------------|
| Rated Return Air Flow Rate (SCFM): 366 | Sensible Effectiveness (%): 75.3 |
| Net Supply Air Flow Rate (SCFM): 366 | Latent Effectiveness (%): 47.1 |
| Static Pressure Differential (in. w.g.): -1.47 | Total Effectiveness (%): 57.8 |
| EATRA (%): 3.3 | Enthalpy Recovery Ratio (%): 55.9 |
| OACF: 0.97 | |

Certified in accordance with the AHRI ERV Certification Program, which is based on AHRI Standard 1060. Certified units may be found in the AHRI Directory at www.ahridirectory.org.

Certified Software Version Number: 1.0.0

GLOSSARY:

| | |
|-------------------|----------------------|
| CORES | AHRI 1060 |
| Return Air Inlet | Entering Exhaust Air |
| Outside Air Inlet | Entering Supply Air |
| Supply Air Outlet | Leaving Supply Air |

Effectiveness and airflow are gross except where noted.

RENEWAIRE ERV SPECIFICATIONS

SCALE: NTS

Date: 11/22/2023
Project Number: O-143649
Project Name: 23-038
Unit Tag: ERV-1
Model: HE07-JNH-S11AA-GNTE-L
Qty: 1

Specifications

Ventilation Type: Static plate, heat and humidity transfer
Typical Airflow Range: 200-600 CFM
AHRI 1060 Certified Core: One LBS-GS
OA Filters: Total Qty. 1, MERV 8, 14" x 20" x 2"
RA Filters: Total Qty. 1, MERV 8, 14" x 20" x 2"
Unit Weight: 148-278 lbs. (varies by option)

Configuration

Unit Type: ERV-1
Model: HE07-JNH-S11AA-GNTE-L
Core Type: LBS-GS
Indoor Location: (1) Indoor Unit
Airflow Orientation: (1) Exhaust (Standard)
Yield: (1) Supply (Standard)
Exhaust Service: (1) 2" (1) 1.5" (1) 1" (1) 0.75"
Fresh Air Motor: (1) Advanced EC Direct Drive Motorized Impeller
Exhaust Air Motor: (1) Advanced EC Direct Drive Motorized Impeller
Flow Control: (1) No Damper (Standard)
Unit Control: (1) Manual Stop for EC Motor
Disconnect: (1) Near Panel (Standard)
Control Option: (1) Transformer with Motion Relay (Standard)
Filter Holder: (1) Four Motor Bulk Assemblies
Pans: (1) None
Safety Latching: (1) Lock

Unit Accessories and Service Parts

No accessories for this unit

SUMMER

| | | | | | |
|--|------|------|------|------|------|
| Standard Flow Rate SCFM | 366 | 366 | 366 | 366 | 366 |
| Actual Flow Rate ACFM | 366 | 372 | 377 | 382 | 386 |
| Dry Bulb °F | 95.0 | 75.0 | 80.4 | 70.0 | 53.7 |
| Wet Bulb °F | 78.0 | 62.6 | 70.0 | 61.5 | 41.8 |
| Enthalpy (h) BTU/lb | 41.3 | 26.1 | 33.9 | 21.0 | 16.0 |
| Moisture Ratio (lb/lb) grains/lb | 64.7 | 33.4 | 39.4 | 27.1 | 20.2 |
| Fresh Air - External Static Pressure in w.g. | 1.00 | | | | |
| Exhaust Air - External Static Pressure in w.g. | 1.00 | | | | |
| Sensible effectiveness % | 75.3 | | | | |
| Total effectiveness % | 57.8 | | | | |
| Load savings ratio % | 55.9 | | | | |
| Moisture removed grains/lb | 24.1 | | | | |

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| | | | | | | |
|----------------------------------|------------|-------------|-------------|-------|------|-------|
| Original Inlet BTU/h (Tons) | 8175 (0.7) | 14307 (1.3) | 22482 (1.9) | 24525 | 5293 | 29818 |
| Load with Renewaire BTU/h (Tons) | 2319 (0.2) | 7702 (0.6) | 9911 (0.8) | 6656 | 1854 | 8520 |
| Total energy saved BTU/h (Tons) | 5856 (0.5) | 6605 (0.6) | 12581 (1.0) | 17869 | 3439 | 21298 |

Note: OA Flow Rate values are gross airflow, all others are net airflow.
Note: For full certified ERV performance, please see AHRI 1060 Report.
Note: Sensible cooling design conditions were used for the summer performance results.

| REVISIONS | | NO. | DATE | REMARKS |
|-----------|--|-----|------|---------|
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LEGIBILITY THAT THESE REVISIONS WERE APPROVED BY A SEAL OR SIGNATURE OF THE DESIGNER OR THE STATE OF MARYLAND



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BUILDING RENOVATIONS
PLAYABOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
MECHANICAL SCHEDULE AND SPECIFICATIONS

DATE: 11-21-2023
DOT PROJ. NO.: 23-038
DESIGN BY: KI
DRAWN BY: RE
SCALE: AS NOTED
STAGE: CD
DWG. FILE: 23-038 M100

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101

MECHANICAL BUILDING CODES

2018 INTERNATIONAL MECHANICAL CODE

2018 INTERNATIONAL ENERGY CONSERVATION CODE

HVAC LOAD BASIS OF DESIGN

OUTDOOR COOLING DESIGN TEMPERATURE=95°F

OUTDOOR COOLING DESIGN WETBULB=78°F

OUTDOOR HEATING DESIGN TEMPERATURE=10°F

INDOOR COOLING DESIGN TEMPERATURE=75°F

INDOOR HEATING DESIGN TEMPERATURE=72°F

EXISTING STRUCTURE R-VALUES ARE UNKNOWN. R-VALUE ASSUMPTIONS:

WOOD FRAME WALL R-VALUE= 11

FLOOR R-VALUE= 19

CEILING R-VALUE= 22

GLAZED FENESTRATION SHGC= SUMMER 1.04

WINTER 1.1

OPAQUE SWINGING DOORS U-FACTOR= 0.61

PARTITIONS: COOL ΔT=15

HEAT ΔT=40

R-VALUE= 19 (CRAWLSPACE FLOOR)

DESIGN CONDITIONS

IECC 2018

R302.1 INTERIOR DESIGN CONDITIONS

THE INTERIOR DESIGN TEMPERATURES USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE A MAXIMUM OF 72°F (22°C) FOR HEATING AND MINIMUM OF 75°F (24°C) FOR COOLING.

CONTROLS

IECC 2018

R403.1 NOT LESS THAN ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.

PROGRAMMABLE THERMOSTAT

IECC 2018

R403.1.1 PROGRAMMABLE THERMOSTAT

THE THERMOSTAT CONTROLLING THE PRIMARY HEATING OR COOLING SYSTEM OF THE DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SETPOINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES OF NOT LESS THAN 65°F TO NOT GREATER THAN 85°F. THE THERMOSTAT SHALL BE PROGRAMMED INITIALLY BY THE MANUFACTURER WITH A HEATING TEMPERATURE SETPOINT OF NOT GREATER THAN 70°F AND A COOLING TEMPERATURE SETPOINT OF NOT LESS THAN 78°F.

SUPPLEMENTARY HEAT

IECC 2018

R403.1.2 HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

VENTILATION SCHEDULE

| AREA SERVED | EXHAUST FAN UNIT | | | | VENTILATION CONTROLS | | | COMMENTS |
|-------------|------------------|--------|-----|-------|----------------------|--------------|----------|---|
| | FAN MODEL | MANUF. | CFM | LIGHT | REQUIRED VENT. | VENT. MODEL | PART NO. | |
| FAN 1 | XB50 | BROAN | 50 | NO | 48 CFM | AIRCYCLER G2 | ACG2K-04 | AIRCYCLER G2 FURNACE FAN TIMER + FANCONNECT SWITCH WHOLE HOUSE MECH. VENT. SYSTEM |


WHOLE HOUSE VENTILATION

IECC 2018


R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY

FANS USED TO PROVIDE WHOLE-HOUSE MECHANICAL VENTILATION SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1

EXCEPTION: WHERE AN AIR HANDLER THAT IS INTEGRAL TO TESTED AND LISTED HVAC EQUIPMENT IS USED TO PROVIDE WHOLE-HOUSE MECHANICAL VENTILATION, THE AIR HANDLER SHALL BE POWERED BY AN ELECTRONICALLY COMMUTATED MOTOR



HONEYWELL TH6320U2008 THERMOSTAT



HONEYWELL C7189U1005 WIRED INDOOR SENSOR

THERMOSTAT AND REMOTE SENSOR

SCALE: N.T.S.

DUCTS

IECC 2018

R403.3.1 INSULATION

SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO AN R-VALUE OF NOT LESS THAN R-8 FOR DUCTS 3 INCHES IN DIAMETER AND LARGER AND NOT LESS THAN R-6 FOR DUCTS SMALLER THAN 3 INCHES IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO NOT LESS THAN R-6 FOR DUCTS 3 INCHES IN DIAMETER AND NOT LESS THAN R-4.2 FOR DUCTS SMALLER THAN 3 INCHES IN DIAMETER.

EXCEPTION: DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE

R403.3.2 SEALING (MANDATORY)

DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.

R403.3.5

BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS

EQUIPMENT SIZING

IECC 2018

R403.7 HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S ON BUILDING LOADS

CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING AND COOLING EQUIPMENT SHALL HAVE AN EFFICIENCY RATING EQUAL OR GREATER THAN THE MINIMUM REQUIRED BY ITEM 3 OR SECTION 501.3.1. OUTDOOR AIR INTAKE OPENINGS WHERE THE EQUIPMENT IS INSTALLED.

INTAKE OPENING LOCATION

IMC 2018

401.4

AIR INTAKE OPENINGS SHALL COMPLY WITH ALL OF THE FOLLOWING

1. INTAKE OPENINGS SHALL BE LOCATED NOT LESS THAN 10 FEET FROM LOT LINES OR BUILDINGS ON THE SAME LOT

2. MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED NOT LESS THAN 10 FEET HORIZONTALLY FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT SOURCE, SUCH AS VENTS, STREETS, ALLEYS, PARKING LOTS AND LOADING DOCKS, EXCEPT AS SPECIFIED IN ITEM 3 OR SECTION 501.3.1. OUTDOOR AIR INTAKE OPENINGS SHALL BE PERMITTED TO BE LESS THAN 10 FEET HORIZONTALLY FROM STREETS, ALLEYS, PARKING LOTS AND LOADING DOCKS PROVIDED THAT THE OPENINGS ARE LOCATED NOT LESS THAN 25 FEET VERTICALLY ABOVE SUCH LOCATIONS. WHERE OPENINGS FRONT ON A PUBLIC STREET OR PUBLIC WAY, THE DISTANCE SHALL BE MEASURED FROM THE CLOSEST EDGE OF THE STREET OR PUBLIC WAY.

3. INTAKE OPENINGS SHALL BE LOCATED NOT LESS THAN 3 FEET BELOW CONTAMINANT SOURCES WHERE SUCH SOURCES ARE LOCATED WITHIN 10 FEET OF THE OPENING.

4. INTAKE OPENINGS ON STRUCTURES IN FLOOD HAZARD AREAS SHALL BE AT OR ABOVE THE ELEVATION REQUIRED BY SECTION 1612 OF THE INTERNATIONAL BUILDING CODE FOR UTILITIES AND ATTENDANT EQUIPMENT.

INTAKE OPENING PROTECTION

IMC 2018

401.5

AIR INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREWS, LOUVERS OR GRILLES. OPENINGS IN LOUVERS, GRILLES AND SCREENS SHALL BE SIZED IN ACCORDANCE WITH TABLE 401.5, AND SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS. LOUVERS THAT PROTECT AIR INTAKE OPENINGS IN STRUCTURES LOCATED IN HURRICANE-PRONE REGIONS, AS DEFINED IN THE INTERNATIONAL BUILDING CODE, SHALL COMPLY WITH AMCA 550. OUTDOOR AIR INTAKE OPENINGS LOCATED IN EXTERIOR WALLS SHALL MEET THE PROVISIONS FOR EXTERIOR WALL OPENING PROTECTIVES IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

EXHAUST SYSTEMS

IMC 2018

501.3 EXHAUST DISCHARGE

THE AIR REMOVED BY EVERY MECHANICAL EXHAUST SYSTEM SHALL BE DISCHARGED AT A POINT WHERE IT WILL NOT CAUSE A PUBLIC NUISANCE AND NOT LESS THAN THE DISTANCES SPECIFIED IN SECTION 501.3.1 THE AIR SHALL BE DISCHARGED TO A LOCATION FROM WHICH IT CANNOT BE READILY DRAWN IN BY A VENTILATING SYSTEM. AIR SHALL NOT BE EXHAUSTED INTO AN ATTIC, CRAWL SPACE, OR BE DIRECTED ONTO WALKWAYS.

501.3.1 LOCATION OF EXHAUST OUTLETS

THE TERMINATION POINT OF EXHAUST OUTLETS AND DUCTS DISCHARGING TO THE OUTDOORS SHALL BE LOCATED WITH THE FOLLOWING MINIMUM DISTANCES:

3. FOR ALL ENVIRONMENTAL AIR EXHAUST: 3 FEET FROM PROPERTY LINES; 3 FEET FROM OPERABLE OPENINGS INTO BUILDINGS FOR ALL OCCUPANCIES OTHER THAN GROUP U, AND 10 FEET FROM MECHANICAL AIR INTAKES. SUCH EXHAUST SHALL NOT BE CONSIDERED HAZARDOUS OR NOXIOUS.

5. FOR SPECIFIC SYSTEMS SEE THE FOLLOWING SECTIONS:

5.1 CLOTHES DRYER EXHAUST, SECTION 504.4

501.3.2 EXHAUST OPENING PROTECTION

EXHAUST OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREWS, LOUVERS OR GRILLES. OPENINGS IN SCREENS, LOUVERS OR GRILLES SHALL BE SIZED NOT LESS THAN 1/4 INCH AND NOT LARGER THAN 1/2 INCH. OPENINGS SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS. LOUVERS THAT PROTECT EXHAUST OPENINGS IN STRUCTURES LOCATED IN HURRICANE-PRONE REGIONS, AS DEFINED IN THE INTERNATIONAL BUILDING CODE, SHALL COMPLY WITH AMCA 550. OUTDOOR EXHAUST OPENINGS LOCATED IN EXTERIOR WALLS SHALL MEET THE PROVISIONS FOR EXTERIOR WALL OPENING PROTECTIVES IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

MECHANICAL SPECIFICATIONS

EQUIPMENT

1. SYSTEM F1-1: DUCTLESS HEATPUMP, LG ODU LMJ300HHV, IDU LCN188HV4, IDU LMN159HV7

2. SYSTEM F1-2: DUCTLESS HEATPUMP, LG ODU LMJ300HHV, IDU LSN050HVS, IDU LSN050HVS, IDU LCN120HVS

3. SYSTEM F2: DUCTLESS HEATPUMP, LG ODU LMJ240HHV, IDU LCN050HV4, IDU LCN050HV4, IDU LMN075HV7

4. PROVIDE COMPLETE AIRCYCLER VENTILATION SYSTEM A DWELLING UNIT.

DUCTWORK

1. ALL DUCTWORK SHALL BE SHEET METAL. DUCTS INSTALLED WITHIN A SINGLE DWELLING UNIT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL D OR OTHER APPROVED METHODS. DUCTS INSTALLED WITHIN ALL OTHER BUILDINGS SHALL BE SIZED IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS OR OTHER EQUIVALENT COMPUTATION PROCEDURE. METALLIC DUCTS SHALL BE CONSTRUCTED AS SPECIFIED IN THE SMACNA HVAC DUCT CONSTRUCTION STANDARDS-METAL AND FLEXIBLE. ROUND METALLIC DUCTS SHALL BE MECHANICALLY FASTENED BY MEANS OF NOT LESS THAN THREE SHEET METAL SCREWS OR RIVETS SPACED EQUALLY AROUND THE JOINT. CRIMP JOINTS FOR ROUND AND OVAL METAL DUCTS SHALL BE LAPPED NOT LESS THAN 1 INCH (25 mm) AND THE MALE END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT IN THE DIRECTION OF AIRFLOW.

2. ALL SEAMS AND JOINTS IN DUCTWORK SHALL BE SEALED.

3. ALL DUCTWORK SHALL BE INSULATED AS PER APPLICABLE CODE. ALL FRESH AIR DUCTS ARE TO BE INSULATED.

IMC 2018 604.1 GENERAL. DUCT INSULATION SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 604.2 THROUGH 604.13 AND THE INTERNATIONAL ENERGY CONSERVATION CODE.

IECC 2018 C403.11 CONSTRUCTION OF HVAC SYSTEM ELEMENTS. DUCTS, PLENUMS, PIPING AND OTHER ELEMENTS THAT ARE PART OF AN HVAC SYSTEM SHALL BE CONSTRUCTED AND INSULATED IN ACCORDANCE WITH SECTIONS C403.11.1 THROUGH C403.11.3.1.

4. PROVIDE AMERICAN ALDES CAR-II CONSTANT AIRFLOW REGULATORS AT ALL RUNOUTS WITH AIR VOLUMES LESS THAN OR EQUAL TO 50 CFM.

REGISTERS AND GRILLS

1. ALL SUPPLY/RETURN REGISTERS TO BE FACTORY PAINTED WHITE

2. PROVIDE VOLUME CONTROL DAMPERS AT ALL RUNOUTS

MECHANICAL NOTES

1. ALL SPECIFICATIONS AND DRAWINGS (a-e ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION) ARE COMPLEMENTARY AND MUST BE USED IN COMBINATION TO OBTAIN COMPLETE CONSTRUCTION INFORMATION.

2. ANY CONFLICTS WITHIN THE SPECIFICATIONS OR BETWEEN THE SPECIFICATIONS AND DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNTIL ALL CONFLICTS ARE RESOLVED AND THE CLARIFYING INFORMATION IS ISSUED TO THE CONTRACTOR BY THE ARCHITECT.

3. ALL CUTTING, DRILLING AND PATCHING OF WALLS, FLOORS OR STRUCTURAL MEMBERS FOR THE INSTALLATION OF THE MECHANICAL AND/OR PLUMBING SYSTEMS SHALL BE PROVIDED BY THE MECHANICAL OR PLUMBING CONTRACTORS. STRUCTURAL COMPONENTS SHALL NOT BE CUT, DRILLED OR MODIFIED IN ANY WAY WITHOUT THE STRUCTURAL ENGINEER'S REVIEW AND PRIOR WRITTEN APPROVAL.

4. ALL PIPING SHALL BE INSTALLED ABOVE CEILING OR IN CONCEALED SPACE UNLESS NOTED OR INDICATED OTHERWISE. COORDINATE WITH THE ARCHITECTURAL DRAWINGS/REQUIREMENTS.

5. THESE DRAWINGS ARE SCHEMATIC AND ARE INTENDED TO CONVEY A FUNCTIONAL HVAC SYSTEM AND TO DEPICT THE GENERAL LOCATION OF THE HVAC SYSTEM COMPONENTS.

6. CONTRACTOR SHALL EXAMINE THE CONTRACT DOCUMENTS AND FAMILIARIZE HIMSELF WITH ALL THE REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY OBSERVED FAULTS AND/OR AMBIGUITY IN THE CONTRACT DOCUMENTS SO THAT THE MATTER MAY BE RESOLVED PRIOR TO SUBMISSION OF BIDS.

7. BY SUBMISSION OF BID THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF THE CONTRACT DOCUMENTS AS AN ADEQUATE DEFINITION OF THE SCOPE OF THE WORK, AND EXTRA COST CLAIMS BASED ON INADEQUACY OF DOCUMENTS SHALL NOT BE CONSIDERED.

8. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF HVAC AND PLUMBING WORK WITH THE WORK OF OTHER TRADES. MINOR DEVIATIONS FROM PLANS MAY BE MADE TO AVOID MINOR CONFLICTS. WHEN MAJOR CONFLICTS ARE APPARENT, THE PROJECT MANAGER SHALL BE ADVISED IMMEDIATELY AND AFFECTED WORK SHALL NOT PROCEED UNTIL THE CONFLICT HAS BEEN RESOLVED.

9. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS PRIOR TO PURCHASING AND FABRICATION OF EQUIPMENT (a-e DUCTWORK, DIFFUSERS, ETC.)

10. CONTRACTOR SHALL VERIFY ALL VOLTAGE AND POWER REQUIREMENTS FOR ALL EQUIPMENT AND COORDINATE WITH THE CONTRACT DRAWINGS PRIOR TO ISSUANCE OF SHOP DRAWINGS AND PURCHASE OF EQUIPMENT.

11. ALL SYSTEMS SHALL BE CLEAN OF FOREIGN MATERIAL AND ROUGH SPOTS PRIOR TO BEING PLACED IN SERVICE AND BEFORE OPERATIONAL TESTS ARE PERFORMED.

12. ALL REFRIGERANT PIPING SHALL BE CONNECTED TO RESPECTIVE HP OR ODU AND AHU OR IDU. DIAMETER AND LENGTH OF RUN SHALL NOT EXCEED PER MANUFACTURER'S SPECIFICATIONS.

13. INSTALL U.L. APPROVED FIRE DAMPERS WHERE NECESSARY AS PER NFPA LOCAL CODES AND THE MANUFACTURER'S RECOMMENDATIONS. PROVIDE ACCESS PANELS/DOORS TO FIRE DAMPERS AS REQUIRED.

14. PROVIDE AIR TURNING DEVICES IN DUCTWORK AT ANY CHANGES IN DIRECTION.

15. INSTALLATION OF ALL EQUIPMENT AND THEIR ACCESSORIES SHALL BE PER MANUFACTURER'S PUBLISHED RECOMMENDATIONS.

16. ALL FLOOR MOUNTED EQUIPMENT SHALL BE INSTALLED ON VIBRATION ISOLATORS

17. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL THE HEATING, VENTILATION AND AIR-CONDITIONING SYSTEM SO AS TO ENSURE QUIET OPERATION. NO VIBRATION OR SOUND SHALL BE TRANSMITTED TO THE BUILDING OR STRUCTURE.

18. PROVIDE ACCESS DOORS AND/OR PANELS NECESSARY TO SERVICE ALL EQUIPMENT AND ACCESSORIES THAT REQUIRE SERVICE AND/OR MAINTENANCE AND ARE LOCATED ABOVE INACCESSIBLE CEILING OR WALLS. ACCESS DOOR SIZES SHALL PERMIT FULL ACCESSIBILITY TO EQUIPMENT AND/OR ACCESSORIES, BUT NOT LESS THAN 16" x 16". ACCESS DOORS SHALL MATCH THE WALL OR CEILING FINISH AT THE LOCATION WHERE THEY ARE PLACED.

19. PROVIDE AND INSTALL A OVERFLOW PAN UNDER EVERY AHU. INSTALL FLOAT SWITCH IN EACH OVERFLOW PAN THAT WILL SHUT DOWN CONDENSING UNIT WHEN OVERFLOW PAN FILLS WITH WATER

20. ALL WORK ON THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS.

21. WHERE DUCTWORK CROSSES STRUCTURAL BEAMS AND JOISTS CONTRACTOR SHALL EXAMINE THE STRUCTURAL DRAWINGS AND COORDINATE LOCATION OF DUCTWORK WITH LOCATION OF DUCT OPENINGS IN BEAMS AND JOISTS.

22. ALL MECHANICAL SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS CHECKLIST FOUND IN THE APPROVED U.S. DEPARTMENT OF ENERGY MECHANICAL COMPLIANCE CERTIFICATE.

23. PROVIDE ACCESS PANELS, LIGHTS AND RECEPTACLES FOR ALL INDOOR AND OUTDOOR UNITS IN ACCORDANCE WITH THE MECHANICAL CODE.

24. ALL SYSTEMS SHALL BE TESTED AND BALANCED BY AN APPROVED METHOD. VENTILATION BALANCING SHALL VERIFY THAT THE VENTILATION SYSTEM IS CAPABLE OF SUPPLYING AND EXHAUSTING THE REQUIRED VENTILATION RATES.

25. THE EXTERIOR REFRIGERANT PIPING SERVICE VALVES SHALL HAVE LOCKABLE CAPS TO PREVENT THEFT AND/OR "SNIFFING."

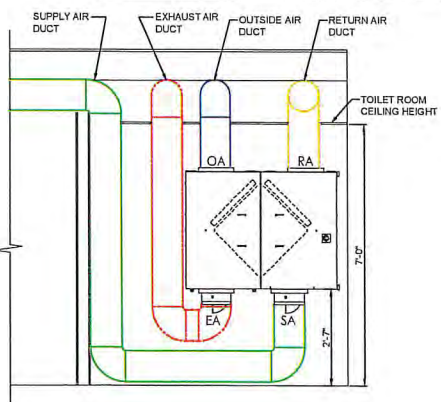
26. ANY PIPING OR DUCTWORK INSTALLED AROUND ELECTRICAL PANELS MUST BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE CLEARANCE REQUIREMENTS.

27. PROVIDE SERVICE AND MAINTENANCE SPACE AROUND ALL EQUIPMENT AS REQUIRED PER THE MANUFACTURER'S REQUIREMENTS.

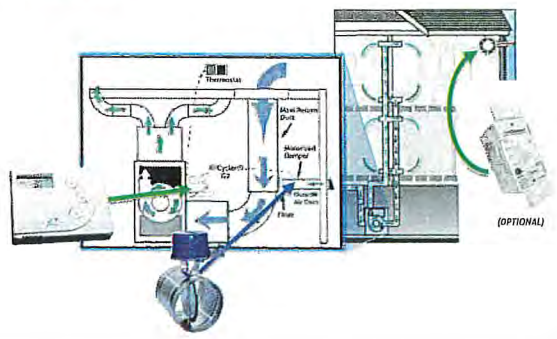
28. PROVIDE 120V ELECTRICAL POWER TO ALL FIELD SUPPLIED CONDENSATE PUMPS.

SCHEMATIC ELEVATION AT ERV CLOSET

SCALE: 1/2" = 1'-0"



SYSTEM DIAGRAM



(OPTIONAL)

DAMPER LOCATION

The fresh air damper can be located anywhere in the inlet duct. Minimize the length of the inlet duct to improve air flow and improve system efficiency. It is recommended that the damper be as close to the return air plenum and the AirCycler® g2 controller as possible, and the inlet duct connect to the return plenum upstream of the system filter, and down-stream of any duct mounted sensors.

DAMPER INSTALLATION

The damper may be installed in any position. It is recommended to install it with the motor at the 12 o'clock position if mounted horizontally. Air may flow through in either direction, although it is recommended to install with the crimped end as the outlet. Use care to avoid disturbing the damper housing and provide adequate support. Upon system start up be sure to set damper power switch to UP or AUTOMATIC position.

CHOOSE A FRESH AIR LOCATION

ASHRAE recommends that the fresh air intake be located at least 10 ft. from any source of pollutants, such as auto exhaust, dryer exhaust, exhaust from any fuel-burning appliances, etc. Avoid installation near odor sources such as garbage bins or barbecue grills. A minimum of 3 ft. above ground is recommended to avoid ingress of leaf litter, grass clippings, etc. Do not use a crawl space, basement, or attic as a source of intake air. Always be sure to comply with local building codes and requirements regarding fresh air inlets.

REVISIONS

| NO. | DATE | REMARKS |
|-----|------|---------|
| | | |
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| | | |
| | | |

ARCHITECTURE

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BUILDING RENOVATIONS

PLAYABOWLS

11651 COASTAL HIGHWAY

OCEAN CITY, MARYLAND

MMECHANICAL NOTES AND SPECIFICATIONS

DATE: 11-21-2023

DTT PROJ. NO.: 23-038

DESIGN BY: KI

DRAWN BY: RE

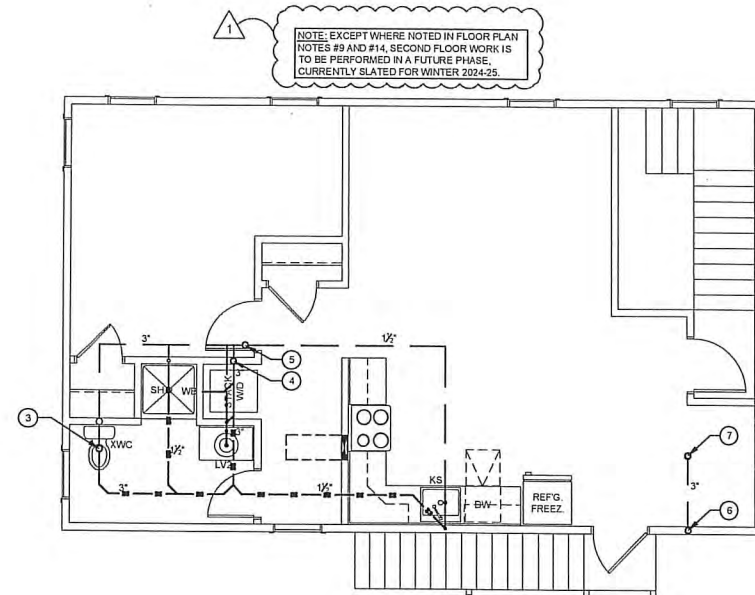
SCALE: AS NOTED

STAGE: CD

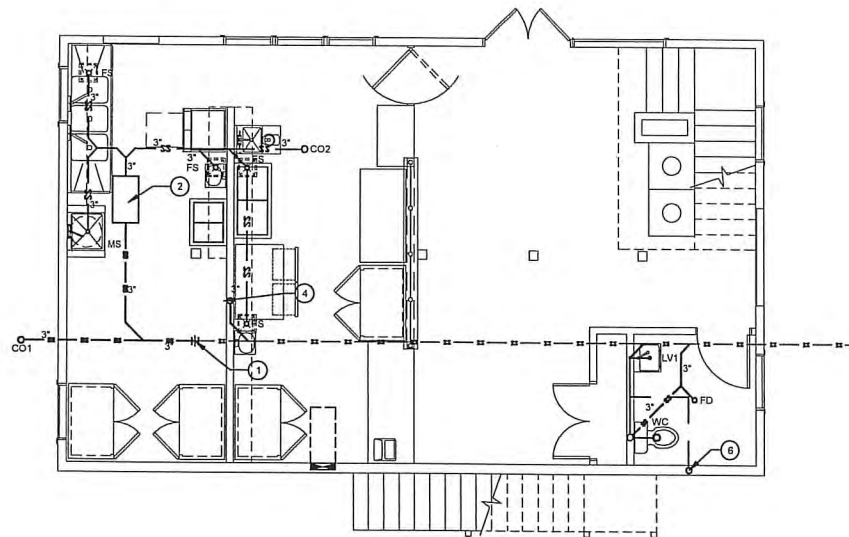
DWG. FILE: 23-038 M100

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SECOND FLOOR SANITARY PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR SANITARY PLAN
SCALE: 1/4" = 1'-0"

| PLUMBING FIXTURE SCHEDULE | | | | | | |
|---------------------------|-------------------------|---------|---------|--------|--------|--|
| MARK | DESCRIPTION | HW SUP. | CW SUP. | SAH. | VENT | NOTES |
| JB | TRIPLE-COMPARTMENT SINK | 1/2" | 1/2" | 1 1/2" | | DRAIN STUB w/ GAP @ FLOOR SINK. SEE FOOD SERVICE PLAN |
| BS | BLENDER SINK | 1/2" | 1/2" | 1 1/2" | | DRAIN STUB w/ GAP @ FLOOR SINK. SEE FOOD SERVICE PLAN |
| CO1 | CLEANOUT | | | 3" | | |
| CO2 | CLEANOUT | | | 3" | | |
| DW | DISHWASHER | 3/8" | | | | SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR. |
| FD | FLOOR DRAIN | | | 3" | | |
| FS | FLOOR SINK | | | 3" | | ZURN Z1751 |
| HB | HOSE BIBB | | 1/2" | | | WOODFORD MODEL 300C |
| HS | HAND SINK | 1/2" | 1/2" | 1 1/2" | | DRAIN STUB w/ GAP @ FLOOR SINK. SEE FOOD SERVICE PLAN |
| ICE | ICE MAKER | | 3/4" | | | MANITOWOC UDF-0240A |
| KV | KITCHEN SINK | 1/2" | 1/2" | 1 1/2" | 1 1/2" | SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR. |
| LS1 | LAVATORY | 1/2" | 1/2" | 1 1/2" | 1 1/2" | AMERICAN STANDARD 0355 012 WITH 5502-170 FAUCET |
| LV2 | LAVATORY | 1/2" | 1/2" | 1 1/2" | 1 1/2" | PEERLESS P246-LF-M FAUCET |
| MS | MOP SINK | 1/2" | 1/2" | 2" | | REGENCY 6005M 1620S w/ 60FW84GILL FAUCET |
| REF | REFRIGERATOR BOX | | 1/2" | | | IPS MODEL AB9705HA |
| SH | SHOWER | | | 2" | | SWAN VERITEK R-3636 |
| WB | WASHER BOX | 1/2" | 1/2" | 2" | | IPS MODEL W2705HA |
| WC | WATER CLOSET | | 1/2" | 3" | 3" | AMERICAN STANDARD CADET 2467 016 |
| WH | WATER HEATER | | | | | ON SHELF ABOVE MOP SINK |
| XWC | EXISTING WATER CLOSET | | | | | TO REMAIN IF IN WORKING ORDER. REPLUMB AS REQUIRED FOR NEW LAYOUT. |

- ## SANITARY KEYNOTES
- 1 APPROXIMATE POINT OF TIE-IN BETWEEN EXISTING SANITARY LINE AND NEW REUSE EXISTING WHERE POSSIBLE IN NEW WORK.
 - 2 GREASE INTERCEPTOR: ZURN Z110 SIZE 700. MOUNT AND SUPPORT UNDER FLOOR WITH COVER TO MATCH FLOOR.
 - 3 EXISTING WATER CLOSET TO REMAIN WITH NEW PLUMBING AS REQUIRED.
 - 4 NEW 3" DROPRISER BETWEEN FLOORS BUILT INTO NEW WALLS.
 - 5 EXISTING VENT STACK TO REMAIN. EXTEND NEW SECOND FLOOR VENTS TO STACK.
 - 6 NEW 3" DROPRISER BETWEEN FLOORS THROUGH EXISTING EXTERIOR WALL.
 - 7 AT END OF LATERAL, PROVIDE NEW 3" VENT THROUGH ROOF.

| REVISIONS | | |
|-----------|------------|------------------|
| NO. | DATE | REMARKS |
| 1 | 12-21-2023 | PHASING REVISION |
| | | |
| | | |
| | | |
| | | |

I CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME A DULY
LICENSED ARCHITECT, LICENSED
UNDER THE LAWS OF THE STATE
OF MARYLAND



JOIT

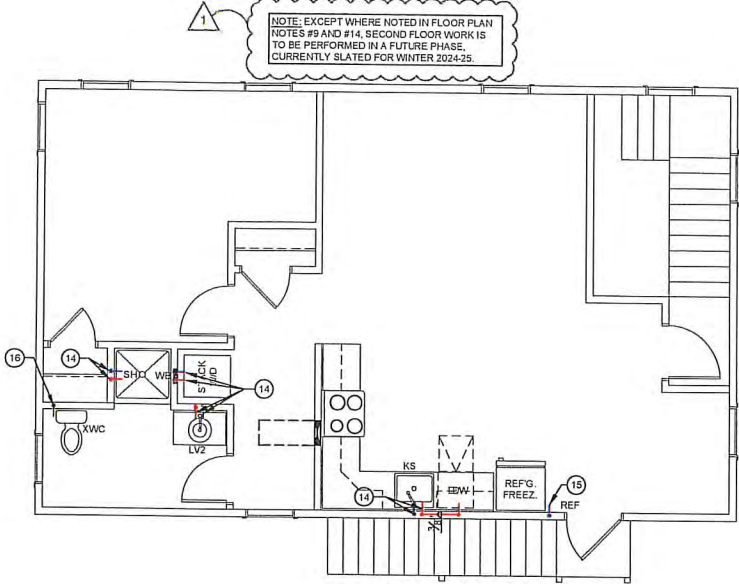
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ENGINEERING
INCORPORATED

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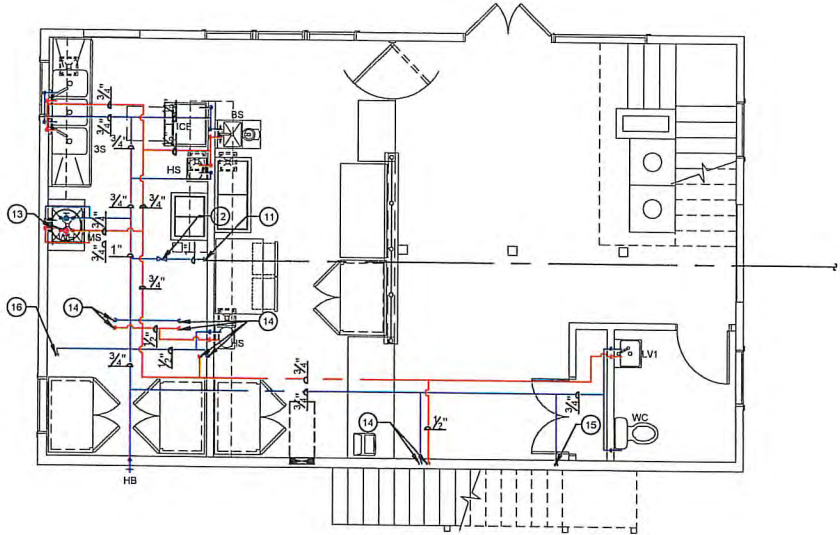
BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND

| |
|------------------------|
| DATE: NOV. 21, 2023 |
| IOTT PROJ. NO.: 23-038 |
| DESIGN BY: KI |
| DRAWN BY: M.S. |
| SCALE: AS NOTED |
| STAGE: PERMIT |

P 100



SECOND FLOOR DOMESTIC WATER PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR DOMESTIC WATER PLAN
SCALE: 1/4" = 1'-0"

| PLUMBING FIXTURE SCHEDULE | | | | | | |
|---------------------------|-------------------------|---------|---------|--------|--------|--|
| MARK | DESCRIPTION | HW SUP. | CW SUP. | SAN. | VENT | NOTES |
| 3S | TRIPLE-COMPARTMENT SINK | 1/2" | 1/2" | 1 1/2" | | DRAIN STUB w/ GAP @ FLOOR SINK. SEE FOOD SERVICE PLAN. |
| BS | BLENDER SINK | 1/2" | 1/2" | 1 1/2" | | DRAIN STUB w/ GAP @ FLOOR SINK. SEE FOOD SERVICE PLAN. |
| CO1 | CLEANOUT | | | 3" | | |
| CO2 | CLEANOUT | | | 3" | | |
| DW | DISHWASHER | 3/8" | | | | SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR. |
| FD | FLOOR DRAIN | | | 3" | | |
| FS | FLOOR SINK | | | 3" | | ZURN Z1751 |
| HB | HOSE BIBB | | 1/2" | | | WOODFORD MODEL 302C |
| HS | HAND SINK | 1/2" | 1/2" | 1 1/2" | | DRAIN STUB w/ GAP @ FLOOR SINK. SEE FOOD SERVICE PLAN. |
| ICE | ICE MAKER | | 3/4" | | | MANITOWOC UCF-0248A |
| KS | KITCHEN SINK | 1/2" | 1/2" | 1 1/2" | 1 1/2" | SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR. |
| LV1 | LAVATORY | 1/2" | 1/2" | 1 1/2" | 1 1/2" | AMERICAN STANDARD 0355 D12 WITH 5502-170 FAUCET |
| LV2 | LAVATORY | 1/2" | 1/2" | 1 1/2" | 1 1/2" | PEERLESS P246-LF-M FAUCET |
| MS | MOP SINK | 1/2" | 1/2" | 2" | | REGENCY 600SM16208 w/ 60FV84GLL FAUCET |
| REF | REFRIGERATOR BOX | | 1/2" | | | IPS MODEL AB9705HA |
| SH | SHOWER | | | 2" | | SWAN VERITEK R-3636 |
| WB | WASHER BOX | 1/2" | 1/2" | 2" | | IPS MODEL W2705HA |
| WC | WATER CLOSET | | 1/2" | 3" | 3" | AMERICAN STANDARD CADET 2407.016 |
| WH | WATER HEATER | | | | | ON SHELF ABOVE MOP SINK |
| XWC | EXISTING WATER CLOSET | | | | | TO REMAIN IF IN WORKING ORDER. REPLUMB AS REQUIRED FOR NEW LAYOUT. |

- DOMESTIC WATER KEYNOTES
- GENERAL NOTE: NOTES 8-10 NOT USED.
- 11 EXTEND OR TIE INTO EXISTING WATER LINE AS NEW 1" RISER IN WALL.
 - 12 PLACE SHUTOFF VALVE IN ACCESSIBLE LOCATION OVER PREP ROOM, WITH CEILING COVER.
 - 13 WATER HEATER IS PLACED ON SHELF ABOVE MOP SINK.
 - 14 1/2" HOT AND COLD RISER TO SECOND FLOOR PLUMBING FIXTURES.
 - 15 1/2" COLD WATER ONLY RISER TO SECOND FLOOR PLUMBING FIXTURES.
 - 16 REWORK WATER SERVICE TO EXISTING TOILET AS REQUIRED.

| REVISIONS | | REMARKS | |
|-----------|------------|---------|----------|
| NO. | DATE | PHASE | REVISION |
| 1 | 12-21-2023 | | |

I CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AS A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

1/1/2024

ARCHITECTURE
ENGINEERING
INCORPORATED

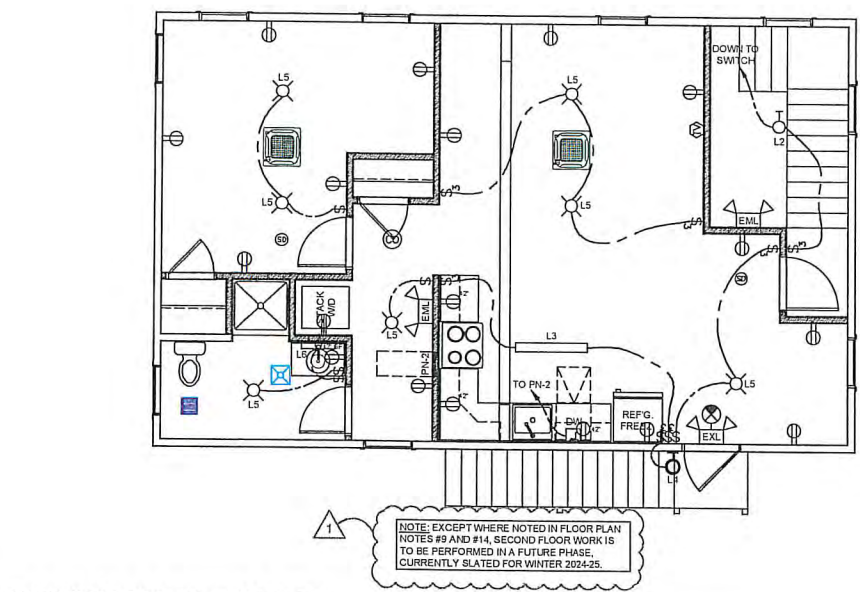
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(410) 749-7229 • FAX: (410) 749-8001

BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND

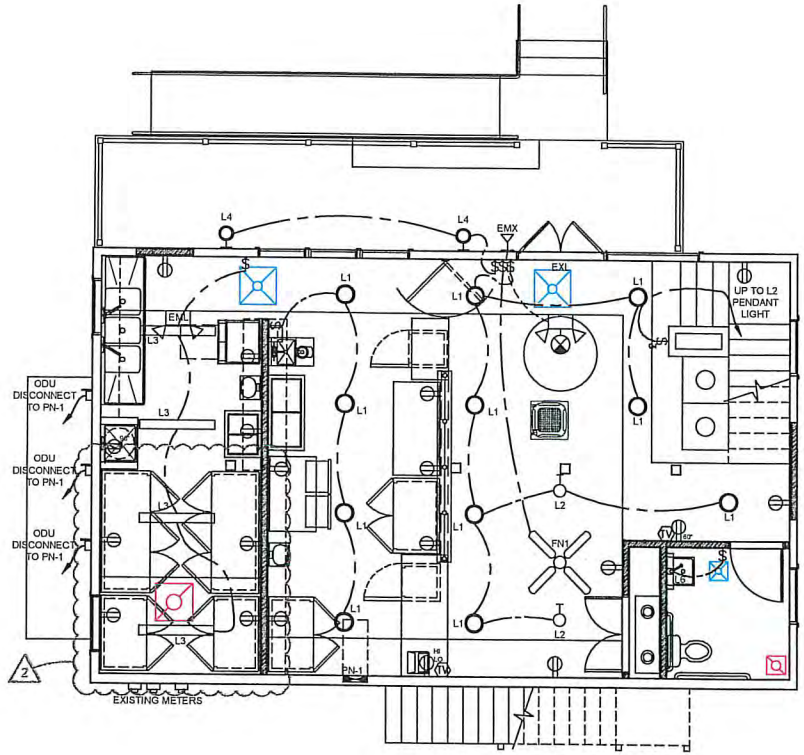
DOMESTIC WATER PLANS

DATE: NOV. 21, 2023
LOT PROJ. NO.: 23-038
DESIGN BY: KI
DRAWN BY: M.S.
SCALE: 1/4" = 1'-0"
STAGE: PERMIT
DWG. FILE: 23-038-P100


























SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



| ELECTRICAL SCHEDULE | | | |
|---------------------|---|--|---------------|
| MARK | SYMBOL | MANUFACTURER/MODEL | REMARKS |
| L1 |  | RECESSED LED CAN LIGHT FIXTURE SUITABLE FOR GENERAL USE. | |
| L2 |  | SUSPENDED LED PENDANT FIXTURE. | |
| L3 |  | 4' THIN PROFILE LINEAR LED FIXTURE (SHOWN ON SCHEDULE SMALLER THAN ACTUAL SIZE.) | |
| L4 |  | WALL-MOUNTED LED SCONCE FIXTURE, RATED FOR OUTDOOR USE. | |
| L5 |  | CEILING-MOUNTED ROUND LED FIXTURE. | |
| L6 |  | THREE-LIGHT LED FIXTURE FOR PLACEMENT OVER VANITY. | |
| EML |  | EMERGENCY LIGHT FOR PUBLIC AREAS, CONNECT TO PANEL PH-1. | |
| EMX |  | BATTERY-POWERED EXTERIOR EMERGENCY LIGHT COORDINATED W/ INTERIOR EMERGENCY LIGHTING. CONNECT TO PANEL PH-1. | |
| EXL |  | COMBINATION EXIT/EMERGENCY LIGHT WITH RECHARGEABLE BATTERY, MOUNTED ON WALL. | |
| FL1 FNI | | FL1 IS 60" 4-BLADE CEILING FAN WITH LED LIGHT (SHOWN ON SCHEDULE SMALLER THAN ACTUAL SIZE.) TYPE FNI IS SAME FAN BUT NO LIGHT. | |
| FL2 |  | EXHAUST FAN UNIT WITH LIGHT. COORDINATE CFM REQUIREMENTS WITH MECHANICAL. | |
| |  | SINGLE-POLE SWITCH. | |
| |  | THREE-WAY SWITCH. | |
| |  | FOUR-WAY SWITCH. | |
| |  | STANDARD DUPLEX RECEPTACLE. STANDARD HEIGHT UNLESS OTHERWISE INDICATED. | |
| |  | PAIR OF STANDARD DUPLEX RECEPTACLES IN SAME VERTICAL LINE. ONE STANDARD HEIGHT AND THE OTHER 60" A.F.F. | |
| |  | GFI DUPLEX RECEPTACLE (WP = WEATHERPROOF, SUITABLE FOR OUTDOOR USE.) | |
| |  | STANDARD 220-VOLT RECEPTACLE | |
| |  | TV OUTLET FOR CATV, SATELLITE, OR INTERNET. MOUNT AT 60" A.F.F. ON FIRST FLOOR, STANDARD HEIGHT ON SECOND FLOOR. | |
| |  | JUNCTION BOX FOR HARDWIRING OF KITCHEN APPLIANCES OR OTHER EQUIPMENT. | |
| |  | PHOTOELECTRIC SMOKE DETECTOR. | HOCHIKI ALN-V |
| |  | MULTI-FUNCTION SMOKE AND CARBON MONOXIDE DETECTOR. | HOCHIKI ACC-D |

DATE: NOV. 21, 2023
DWT PROJ. NO.: 23-038
DESIGN BY: RI
DRAWN BY: M.S.
SCALE: AS NOTED
STAGE: PERMIT
DWG. FILE: 23-038-E100

E100

BUILDING RENOVATIONS
PLAYA BOWLS
11651 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
OVERALL ELECTRICAL PLANS

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REVISIONS

| NO. | DATE | PHASING REVISION | REMARKS |
|-----|------------|------------------|-------------------------------|
| 1 | 12-27-2023 | | REVISED ELECTRICAL AT KITCHEN |
| 2 | 1-25-2024 | | |

SEAL

1/31/2024

1/31/2024



TOWN OF OCEAN CITY

The White Marlin Capital of the World

Board of Zoning Appeals
P.O. Box 158
Ocean City, MD 21843
410-289-8855

October 28, 2022

Dave Eynon
19016 Abbey Manor Drive
Brookeville, MD 20833

Dear Mr. Eynon,

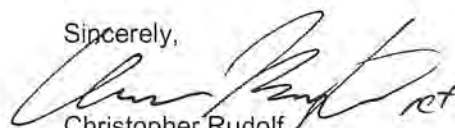
Re: BZA 2633 Requesting a special parking exception to waive two spaces
and allow eight 9'x18' parking spaces – 11651 Coastal Highway

At the public hearing held on Thursday, October 27, 2022, the members of the Board of Zoning Appeals considered the above referenced appeal pursuant to the provisions of Section 110-93(2), Powers, of the Code. The application was filed pursuant to the provisions of Section 110-94(2)(b) requesting a special parking exception to waive two (2) parking spaces of the required ten (10) spaces providing eight (8) parking spaces on site; and also pursuant to the provisions of Section 110-94(2)(b) requesting a special parking exception to design standards to allow the eight (8) existing parking spaces be 9'x18' in size. The site of the appeal is described as Lot 242, Section 1, of the Caine Harbor Mile Plat, further described as located on the northwest corner of Coastal Highway and Newport Bay Drive, and known locally as 11651 Coastal Highway, in the Town of Ocean City, Maryland.

Based on the testimony and exhibits presented during the public hearing, the Board concluded that you have substantially complied with the requirements of Section 110-94(2)(b) of the Code. Consequently, the Board voted unanimously of those present (3-0), to approve the request for the special parking exception with the condition the project complies with all other applicable City requirements.

If you have any questions, please contact the Zoning Staff at (410)289-8855.

Sincerely,


Christopher Rudolf,
Chairperson

cc: Mayor and City Council
Terry McGean, City Manager
All Board of Zoning Appeals Members
Maureen Howarth & Spencer Cropper, Attorneys for the Board
File BZA 2633 #22-09400017

MAYOR
RICHARD W. MEEHAN

CITY COUNCIL

MATTHEW M. JAMES
President

ANTHONY J. DELUCA
Secretary

PETER S. BUAS
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LLOYD MARTIN
MARK L. PADDACK

CITY MANAGER
TERENCE J. MCGEAN, PE

CITY CLERK
DIANA L. CHAVIS, CMC

Real Property Data Search ()

Search Result for WORCESTER COUNTY

[View Map](#)[View GroundRent Redemption](#)[View GroundRent Registration](#)**Special Tax Recapture:** None**Account Identifier:**

District - 10 Account Number - 033004

Owner Information

| | | | |
|-------------------------|--|-----------------------------|---------------|
| Owner Name: | 605 ATLANTIC LLC SAS PARTNERSHIP LLC | Use: | COMMERCIAL |
| Mailing Address: | 12507 SUNSET AVE #26 OCEAN CITY MD 21842- | Principal Residence: | NO |
| | | Deed Reference: | /08532/ 00295 |

Location & Structure Information

| | | | |
|--------------------------|---|---------------------------|---|
| Premises Address: | 605 ATLANTIC AVE OCEAN CITY 21842-0000 | Legal Description: | LOT 8 BLK 7 50 X 142 605 ATLANTIC AVE |
|--------------------------|---|---------------------------|---|

| | | | | | | | | | |
|-------------|--------------|----------------|----------------------|---------------------|-----------------|---------------|-------------|-------------------------|-----------------|
| Map: | Grid: | Parcel: | Neighborhood: | Subdivision: | Section: | Block: | Lot: | Assessment Year: | Plat No: |
| 0110 | 0011 | 2857 | 32080.24 | 11HG | | 7N | 8 | 2022 | Plat Ref: |

Town: OCEAN CITY

| | | | | |
|--------------------------------|--------------------------------|-------------------------------|---------------------------|-------------------|
| Primary Structure Built | Above Grade Living Area | Finished Basement Area | Property Land Area | County Use |
| 1955 | 5,184 SF | | 7,100 SF | |

| | | | | | | | |
|----------------|-----------------|----------------------------|-----------------|----------------|-----------------------|---------------|--|
| Stories | Basement | Type | Exterior | Quality | Full/Half Bath | Garage | Last Notice of Major Improvements |
| | | MIXED RESIDENTIAL / RETAIL | / | C3 | | | |

Value Information

| | Base Value | Value | Phase-in Assessments | |
|---------------------------|-------------------|--------------|-----------------------------|------------|
| | | As of | As of | As of |
| | | 01/01/2022 | 07/01/2023 | 07/01/2024 |
| Land: | 1,815,000 | 1,815,000 | | |
| Improvements | 148,900 | 154,200 | | |
| Total: | 1,963,900 | 1,969,200 | 1,967,433 | 1,969,200 |
| Preferential Land: | 0 | 0 | | |

Transfer Information

| | | |
|--|---------------------------------|---------------------------|
| Seller: COLUMBUS VILLA LLC | Date: 02/21/2023 | Price: \$2,700,000 |
| Type: ARMS LENGTH IMPROVED | Deed1: /08532/ 00295 | Deed2: |
| Seller: BAKER FRED H SR & BARBARA S | Date: 05/16/2000 | Price: \$0 |
| Type: NON-ARMS LENGTH OTHER | Deed1: SVH /02855/ 00331 | Deed2: |
| Seller: BAKER FRED H SR & FRED H SR & | Date: 12/17/1993 | Price: \$0 |
| Type: NON-ARMS LENGTH OTHER | Deed1: RHO /02005/ 00492 | Deed2: |

Exemption Information

| | | | |
|------------------------------------|--------------|------------|------------|
| Partial Exempt Assessments: | Class | 07/01/2023 | 07/01/2024 |
| County: | 000 | 0.00 | |
| State: | 000 | 0.00 | |
| Municipal: | 000 | 0.00 0.00 | 0.00 0.00 |

Special Tax Recapture: None**Homestead Application Information**

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application

Date: