



TOWN OF OCEAN CITY

The White Marlin Capital of the World

PLANNING AND ZONING COMMISSION

AGENDA

Tuesday, May 7, 2024

Meetings are held in the Council Chambers on the 1st floor of City Hall,
301 Baltimore Avenue, Ocean City, Maryland.

6:00 PM

Work Session for Comprehensive Plan Update

- Invited guest(s) Hal Adkins, OC Public Works Director
- Focus on Chapter 4 Transportation
- Focus on Chapter 5 Community Facilities

Regular Session

I. APPROVAL OF MINUTES

- Minutes of April 16, 2024

II. SITE PLAN

Site Plan Review of Proposed Phase II of Your Beach Bayfront Event Venue. The site is described as unnumbered lots of Parcel 6838, Tax Map 0113; further described as located on the west side of Coastal Highway between 49th Street and Bay Overlook Lane, and known locally as 5001 Coastal Highway, in the Town of Ocean City, Maryland. Phase I approval PZ FILE #23-18100008 dated May 2, 2023.

APPLICANT: SEACRETS YOUR BEACH - PHASE II (PZ FILE #24-18100005)

STAFF/ATTORNEY COMMENTS

- Introduction of proposed code amendments:
 - 1) To Chapter 110 – Zoning, Article V, Supplementary Regulations, Division 1. Generally, Section 110-884(c)(1-6) Outdoor Display of Merchandise Enforcement
 - 2) To Chapter 110 – Zoning, Article IV. Division 23, Downtown Design Overlay Zone District, Section 110-831.27(f)(1-5) Nonconforming Signs
 - 3) To Chapter 110 – Zoning, Article IV. Division 26, Upper Downtown Design Overlay Zone District, Section 110-865.25(6)a-f Nonconforming Signs

COMMISSIONER COMMENTS

PUBLIC COMMENTS

ADJOURNMENT

Applicants or their representatives are required to be **present** at their PUBLIC HEARING/SITE PLAN/RESUBDIVISION/APPOINTMENT review

MAYOR

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CITY CLERK

DIANA L. CHAVIS, CMC

PLANNING AND ZONING COMMISSION MINUTES

Tuesday, April 16, 2024

ATTENDEES:

Members

Joe Wilson, Chair
Kevin Rohe
Janet Hough
Pam Robertson
Palmer Gillis
Joel Brous
Mike Quade

Staff

George Bendler, Director
Bill Neville, City Planner
Maureen Howarth, Town Attorney

This Planning Commission meeting took place at 6:00 p.m. at City Hall located at 301 Baltimore Avenue, in the Town of Ocean City, Maryland.

6:00 PM

I. Comprehensive Plan Work Session

Mr. Neville provided various updates to the department regarding the comprehensive plan update process. This sessions' chapters included Chapter 8 (Downtown Development) and Chapter 2 (Economic Development). One major theme Mr. Neville stated is important to both of these chapters is ensuring that the language conveys what we intend it to convey. The examples and approach to these topics should be relevant and accurate.

Mr. Zach Bankert, Executive Director of the Ocean City Development Corporation, was present to discuss these two chapters. The first was downtown design standards. One main point of discussion was how the Baltimore Avenue streetscape project would be incorporated into the plan. Mr. Palmer Gillis stated that this is a great opportunity to have bikes and bike lanes looked at for Baltimore Avenue. Downtown design standards were also discussed, particularly as to how they should apply to large-scale boardwalk facing projects. The Commission mentioned ideas of how to further incentivize accessory workforce housing for these larger projects. Other topics included the Planned Overlay District (POD), fee in lieu of parking, and policy and regulation around parking exceptions for the boardwalk.

The second discussion was focused on economic development. Some of the Commission's ideas included tax incentives for desired businesses on the boardwalk, large scale special events, and businesses on the boardwalk with closest proximity to parking. Additionally, the Commission discussed how construction could be examined. For example, raising freeboard requirements could have the potential to bring new

sets of benefits and drawbacks to downtown. Ms. Pam Robertson submitted an exhibit of her own comments and observations into the record. It summarized her views on downtown development and redevelopment. Many of these points were specific to the discussion items that the Commission discussed with Mr. Neville and Mr. Bankert.

One specific item the Commission was in general consensus about involved the relocation of the inlet bus stop to 4th Street. They stated this would need to be examined in much more detail before any plans of implementation were adopted.

Mr. Neville stated the next meeting will be related to transportation and Public Works.

6:30 PM

I. Administrative
Minutes

The Planning Commission reviewed the minutes from the April 2, 2024 meeting. Chairman Wilson entertained a motion for approval.

Motion/ Palmer Gillis **Second/** Pam Robertson to approve the minutes from the April 2, 2024 meeting. This motion passed (7-0).

II. Site Plan Review

PZ #23-18100014 SITE PLAN - Site Plan approval to construct a new 18-hole miniature golf course described as part of 6.890 acres of beach land, Map 0117, Parcel 5151A of the Fenwick Plat; further described as located on the west side of Coastal Highway between 128th Street and 130th Street; and locally known as the Montego Bay Shopping Center, 12901 Coastal Highway, in the Town of Ocean City, Maryland.

APPLICANT: Jay Taustin & Cole Taustin, Principals

Mr. George Bendler, Director, introduced the application, staff exhibits, description of location, background of site, project history, and Code review.

Mr. Blaine Smith and Ms. Heather Morrison appeared before the Commission to represent the applicant, Mr. Jay and Cole Taustin. Mr. Smith provided a detailed summary of the mini-golf course, site improvements, stormwater management, parking, pedestrian access, and waste removal. He stated that

this site has undergone some demolition, and this site plan would allow the applicant to proceed to the building permitting phase.

Motion/ Joel Brous **Second/** Kevin Rohe to approve the site plan known as PZ #23-18100014 for Jay and Cole Taustin, with all staff recommendation. This motion passed unanimously (7-0).

Mr. Palmer Gillis opened up conversation regarding the status of Code amendments relating to enclosed garaged parking space sizes. He provided testimony as to why this issue is important to him.

III. **Adjournment**

MOTION/ Joel Brous **SECOND/** Kevin Rohe to close the meeting and to adjourn. The motion passed unanimously (7-0).

Approval of Minutes

Joseph B. Wilson, Chairperson

Date



STAFF REPORT

DATE: May 7, 2024

TO: Planning & Zoning Commission

FROM: George M. Bendler, AICP, Director, PCD
Karen J. (Kay) Gordy, Zoning Administrator *KJG*
Chase M. Phillips, Zoning Analyst

RE: Site Plan Review of Proposed Phase II of Your Beach Bayfront Event Venue. Prior Phase I (PZ File #23-18100008) created an open bayfront venue with associated restrooms and food prep and amended existing site plan PZ File #21-18100027 for change of use on the second and third floors from storage for the ABC Liquor retail store to restaurant use with limited storage as part of the event venue – PZ #24-18100005

Applicant: OC Seacrets, Inc.
c/o Leighton W. Moore
117 49th Street
Ocean City MD 21842

Request: The applicant is requesting Site Plan Review of:
a) Phase II which incorporates overflow dining to the west of the Phase I structures with covered dining and a deck bar to be built further to the north. (Applicant Exhibit A-112)

Location: The site is described as unnumbered lots of Parcel 6838, Tax Map 0113; further described as located on the west side of Coastal Highway between 49th Street and Bay Overlook Lane, with the ABC retail store known locally as 5001 Coastal Highway and the event venue to be known as 5003 Coastal Highway in the Town of Ocean City, Maryland. (Staff Exhibit #1 – zoning map and aerial view)

Project History: As part of the large Seacrets complex, the new retail liquor store replaced a smaller store on the site.

The original site plan application, PZ #21-18100027, was revised for storage use on the 2nd and 3rd stories on November 23, 2021.

This application revises the existing use of the 2nd and 3rd stories now proposed as banquet area/restaurant use in conjunction with the proposed beachfront event-wedding venue.

In accordance with Code Section 110-52(3) Projects proposing phased construction, this project may obtain this building permit after the initial 18 month period for the Phase I site plan approval if it continues to conform to all zoning requirements in effect at the time of application for a building permit for each phase. This approval also affords the opportunity to obtain this building permit within 90 days after the issuance of the certificate of occupancy for the previous phase if a site plan no longer conforms to all zoning requirements.

Zoning

District: LC-1, Local Commercial, Zoning District
BM-1, Bayside Marine District

Documents

Submitted: Attached packet with site plan, construction documents and elevations (Applicant Exhibit #1).

Relevant Code References

Ocean City Code

Chapter 110 - Zoning Regulations:

Article II. Administration and Enforcement.

Division 8, Site Plan Review.

...

Section 110-182 Planning Commission approval required for certain uses. Site plans for the following major uses shall be subject to review by the Planning Commission:

- (1) Subdivided two-family dwellings and townhouses.
- (2) Multiple family dwellings containing three or more dwelling units or forming a part of a multiple-family development of two or more buildings.
- (3) Mobile home parks and mobile home subdivisions.
- (4) Roominghouses, boardinghouses and lodginghouses.
- (5) Hotels and motels.
- (6) Private clubs.
- (7) Churches, temples and synagogues.
- (8) Commercial parking lots and garages.
- (9) All business buildings, commercial buildings or industrial buildings, except minor exemptions set forth in subsection 110-184(b).

Article III. Zoning Districts Established.

Division 10. LC-1, Local Commercial, Zoning District

Section 110-512. Permitted uses.

...
(2)

...
j. Restaurants, cocktail lounges, taverns or nightclubs, including outdoor café dining.

m. Stores or shops for the conduct of retail business, including the sale of accessories, antiques, appliances, beverages, carpets,

drugs, fabrics, food, furniture, hardware, garden supplies, hobby supplies, office supplies, paint, sporting goods, stationary and similar stores and shops.

...
Section 110-515. Permitted accessory uses.

...
(2) The storage of incidental supplies normally carried in stock in connection with a permitted office or business use, subject to applicable regulations.

...
Division 8. BM-1 Bayside Marine District
Section 110-452. Permitted uses.

...
(2) Boat docks, slips, piers, wharves, anchorages and moorages for yachts, pleasure boats or for boats for hire carrying passengers on excursions, sightseeing, pleasure or fishing trips.

...
(13) Restaurants, and restaurants with cocktail lounges.

Section 110-457 & 517. Off-street parking spaces.

Off-street parking spaces shall be provided in accordance with the provisions contained in article V, division 3 of this chapter.

Parking

Required:	Seacrets	172 spaces
	Your Beach – Bayfront Venue	
	Phase I Enclosed Area 1,295.8 gsf @ 1/100	13 spaces
	Phase II Enclosed area 250 SF @ 1/100	2.5 spaces
	Morley Hall Nightclub	
	1 st Floor 8,013 gsf @ 1/100 gsf	80.1 spaces
	2 nd Floor 4,055 gsf @ 1/100 gsf	40.6 spaces
	ABC Liquors	
	1 st Floor: Retail 3,569 gsf @ 1/200 gsf	17.8 spaces
	2 nd Floor: Restaurant 2,419 gsf @ 1/100 gsf	24.2 spaces
	Banquet storage 1,020 gsf @ 1/300	3.4 spaces
	3 rd Floor: Restaurant 3,239 gsf @ 1/100 gsf	<u>32.4 spaces</u>
		386 spaces

6-unit apartment building	12 spaces
Mainway Food & Beverage Container 348 gsf @ 1/100	4 spaces
Distillery 8,695 gsf @ 1/400 gsf	<u>22 spaces</u>
Total parking spaces required:	424 spaces

Parking Provided:

Parcels 6846, 6847, 6853, 6854, 6860, 6861	65 spaces
Parcel 6869	3 spaces
Parcel 6868	8 spaces
Parcel 6843	37 spaces @ 10'
	1 spaces @ 9'
	8 spaces @ 10' x 22'
Parcel 6839	49 spaces
Parcel 6838 Compliant spaces	128 spaces
Noncompliant spaces	170 spaces
Compact spaces	<u>22 spaces</u>
Total parking spaces provided	491 spaces

TOTAL EXCESS PARKING: 67 spaces

Section 110-458 & 518. Signs.

Signs shall be permitted and maintained in accordance with the provisions contained in section 110-880 of this chapter.

Comprehensive Plan

Chapter 2 – Economic Development

Ocean City's economy depends on hotel accommodations, retail sales and the activity generated by restaurants, nightclubs and amusements. These industries are both a source of jobs and income based on the taxes they generate.

Employment – The three main activities that generate employment are:

- Hotels, motels and condominiums
- Restaurants and nightclubs – over 65% of jobs in the Accommodations/Food Service/Retail/Entertainment sectors
- Retail Shops and Malls (2-8, 2-9)

The ten major employers in Ocean City (2016) are all in tourism and property management/development industries:

□ Harrison Group	1,172
□ Bayshore Development	519
□ O.C. Seacrets, Inc.	469
□ KTG, LLC	360
□ Clarion Resort Fontainebleau	340
□ Phillips	303
□ Fagers Island, Ltd	292
□ 91st Street Joint Venture	222
□ Trimpers Rides	244
□ Castle in the Sand	186
	<u>4,184</u>

Source: Maryland DLLR Career and Workforce Information 2016

Support non-profit sponsors of seasonal workers by promoting additional workforce housing, public transportation support services, training and legal assistance. (2.14)

Retail, Restaurants, Nightclubs and Amusements

Ocean City's economy depends heavily on retail sales and the activity generated by restaurants, nightclubs and amusements. These industries are both a source of jobs and income based on the Sales and Use taxes as well as food and beverage and amusement taxes they generate. Food and Beverage Tax Revenues to Ocean City have remained strong through the period 2000 through 2015, and have increased by 14 percent over the last 4 years. Typically over 50% of the revenues derived from food and beverage taxes are generated during the summer months.

The Town of Ocean City also accounts for a sizable portion of the Sales and Use taxes generated in Worcester County from sales of Apparel, Furniture and Appliances, Building and Industrial supplies and General Merchandise.

Recent trends toward locally crafted beer has resulted in 3 breweries and 1 distillery operating in Ocean City. A new network of these businesses is supported by Shore Craft Brewery tours and festivals. Bayside restaurants have also expanded on the tradition of indoor and outdoor seating with family friendly entertainment and playgrounds.

Ocean City at Night – Live entertainment and music is provided at a large number of business establishments in Ocean City. This partnership creates an exceptional opportunity for seasonal employment of musicians, and in many cases provides free entertainment to resort visitors. (2-16)

Chapter 3 – Land Use and Community Character

Commercial – Encourage a full of array of commercial services that meets the needs of the Town and its residents and visitors.(3.7)

Commercial – Encourage new development and redevelopment to minimize the impacts of strip commercial development by encouraging clustering of commercial uses and activity at optimal locations. (3.8)

Staff Recommendation: Planning & Community Development staff recommends the following conditions should the Planning Commission approve the site plan.

Zoning Conditions

1. The property is located within the AE-4 Special Flood Hazard Area, and is subject to periodic tidal flooding. Chapter 38 applies including submission of required elevation certificate.
2. All staff, departmental, and standard comments from the Technical Review Committee (TRC) meeting held on March 14, 2024 must be addressed.

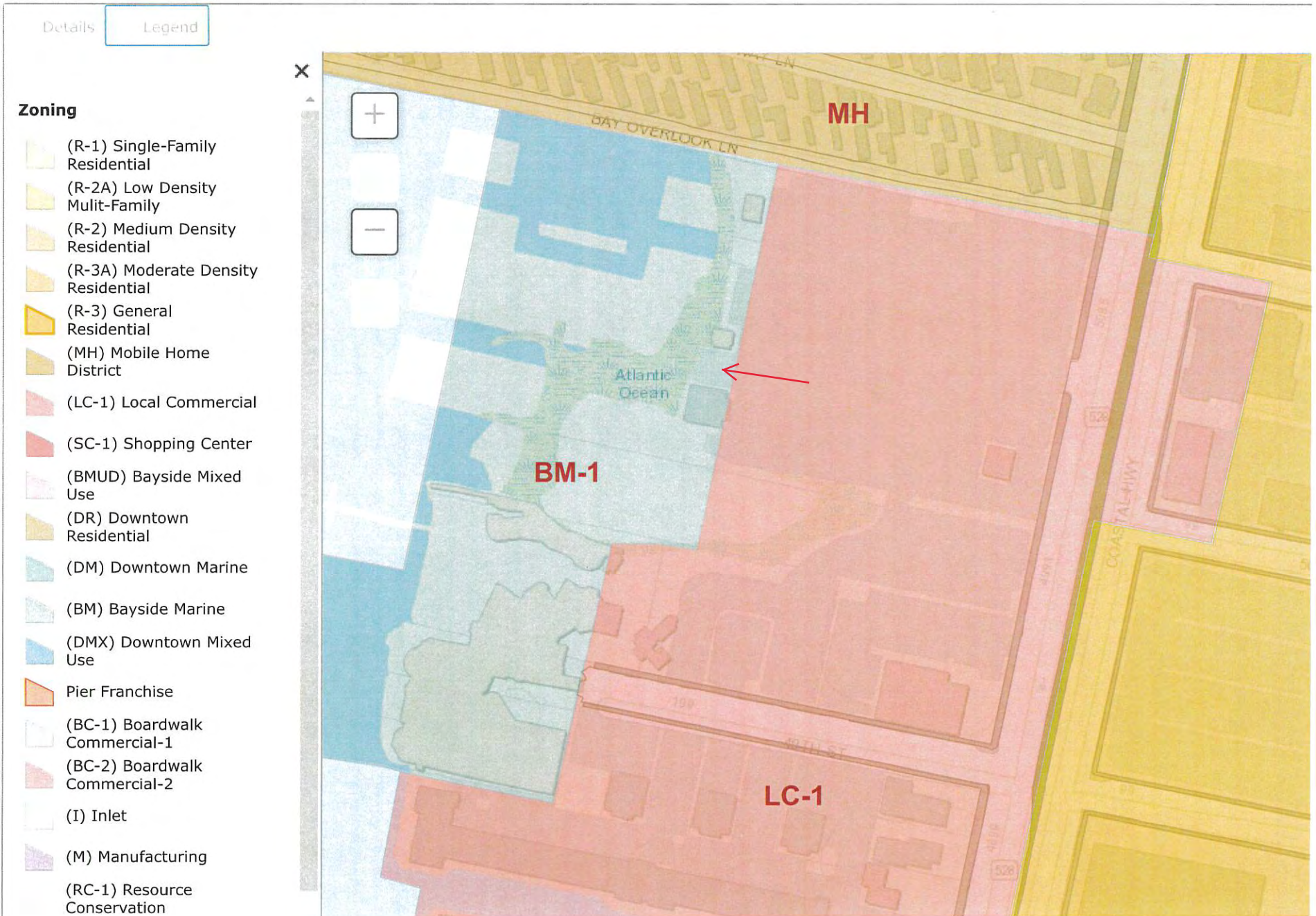
STANDARD RECOMMENDATIONS FOR SITE/SUBDIVISION PLANS

Revised 12/17/2018

1. Design Guidelines, per Section 110-181, apply to all of the corporate limits of the Town of Ocean City.
2. Trash refuse containers shall comply with the minimum standards set forth in Chapter 70 subject to Solid Waste Department approval. All exterior garbage or rubbish containers shall be screened from the street on all but one side by an opaque fence, landscaping, an earth berm or other suitable opaque enclosure. The average height of the enclosure shall be one foot more than the height of the container but shall not be required to exceed eight feet in height.
3. This project is subject to the provisions of the Atlantic Coastal Bays Critical Area Protection Act and shall comply with all regulations pertaining to stormwater management, Chapter 30, Environment, Article III Stormwater Management, and all landscape shall be installed in accordance with Chapter 30, Article VII, prior to the issuance of a building permit.
3. The parking lot shall be paved in accordance with Chapter 74 of the Town Code.
4. All private utilities extending across property lines serving new parking lot shall carry approved easements and/or the property shall be deed consolidated as per Section 110-874. As a policy of the City, private utilities may not extend across public ways.
5. Any existing power poles that interfere with the development of this project shall be relocated at the expense of the owner/developer with appropriate approvals.
6. The location of transformer/generators shall be subject to the approval of Delmarva Power and the Zoning Administrator. The generators shall be subject to the noise regulations set forth in Chapter 30, Article V.
7. Location and/or relocation of fire hydrants shall be subject to the approval of the Water Department and the Fire Marshal.

8. Location, height, type, and direction of lighting designed per Section 110-876(h) Lighting Requirements, including at a minimum a photometric plan to illuminate site and off-street parking areas expressed in foot candles throughout the property. Light fixtures shall be fitted with necessary shielding to prevent glare across the property lines.
9. Provide survey verifying wetland boundary lines by Dept. of Natural Resources and Army Corps of Engineers including other property lines prior to issuance of a building permit.
10. It is required that the owner provides a location survey verifying compliance with minimum setbacks when the building foundation is completed above grade.
11. The project is subject to impact fees adopted by the Mayor and City Council.
 - a. Infrastructure impact fees are as follows: One-half amount due at application for building permit; remainder due prior to issuance of building permit.
 - b. Water and sewer impact fees are due as follows: One-half amount at building permit issuance; the remainder at certificate of occupancy.
12. All site plan approvals are subject to building code, fire code and all other applicable governmental regulations.
13. All work shall be completed as shown on the approved site plan and any revisions to the approved site plan shall be in accordance with Section 110-184.
14. Proposed uses are subject to the existing or amended parking agreement.
15. Site plan approval shall expire eighteen (18) months after the date of approval unless a building permit for the project is obtained prior thereto pursuant to Section 110-52(c)(2). Minor site plan revisions will require additional review fees with the building permit when applicable.
16. All sign permits shall be issued in accordance with those signs shown on the site plan. All sign permits shall be issued in accordance with Chapter 66 – Signs. No wall sign shall exceed 1.5 square feet of area per linear foot of façade length.
17. Subject to obtaining a building permit for all site work.



Ocean City Zoning Districts



5001 & 5003 Coastal Highway

Google Earth Aerial View

Legend

-  5001 Coastal Hwy
-  Atlantic Beverage Center



PHASE 2 - YOUR BEACH BAYFRONT EVENT VENUE AND DINING BEACH SEACRETS U.S.A.

5003 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
O. C. SEACRETS, INC.
OCEAN CITY, MARYLAND 21842
410-524-4900

SITE PLAN APPROVAL
FEBRUARY 12, 2024

REVISION DATE APRIL 5, 2024
REVISION DATE MAY 1, 2024

IOTT FILE NO. 20-062

BUILDING CODE ANALYSIS	
APPLICABLE BUILDING CODES (JURISDICTION: TOWN OF OCEAN CITY)	2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL PLUMBING CODE 2017 NATIONAL ELECTRIC CODE AND NFPA 70
APPLICABLE LIFE SAFETY CODE	2018 LIFE SAFETY CODE (NFPA 101)
CONSTRUCTION TYPE	TYPE V-B
BUILDING USE GROUP	A-2 ASSEMBLY
BUILDING FLOOR AREA	2,592 S.F.
INTERIOR	1,545 S.F.
OPEN ENCLOSED DINING UNDER ROOF	893 S.F.
BATHROOM ACCESS WALKWAY UNDER ROOF	154 S.F.
ENTRY TERRACE	460 S.F.
ALLOWABLE FLOOR AREA (ASSEMBLY) FRONTAGE INCREASE	28,500 S.F. (NONE TAKEN)
OCCUPANT LOAD	166 PERSONS
INTERIOR	16 PERSONS
OPEN ENCLOSED DINING UNDER ROOF	89 PERSONS
OUTDOOR DECKS AND TERRACE	61 PERSONS
NUMBER OF STORIES	ONE (1)
ALLOWABLE NUMBER OF STORIES	TWO (2)
FIRE RESISTIVE ELEMENTS:	
OCCUPANCY (USE GROUP) SEPARATIONS	NOT APPLICABLE
STAIR ENCLOSURES	NOT APPLICABLE
SHAFT ENCLOSURES	NOT APPLICABLE
EXIT ACCESS CORRIDORS	NOT APPLICABLE
FLOOR CONSTRUCTION	NOT RATED
ROOF CONSTRUCTION	NOT RATED
EXTERIOR WALL CONSTRUCTION	NOT RATED
BUILDING TO BE SPRINKLERED PER NFPA 13.	

PARKING TABULATION	
BUILDING	REQUIRED PARKING
SEACRETS	172 SPACES
YOUR BEACH - BAY FRONT VENUE	
PHASE 1 ENCLOSED AREA: 1,295.8 SF @ 1/100	13.0 SPACES
PHASE 2 ENCLOSED AREA: 250 SF @ 1/100	2.5 SPACES
MORLEY HALL NITECLUB	
FIRST FLOOR: 8,013 SF @ 1/100 SF	80 SPACES
SECOND FLOOR: 4,055 SF @ 1/100 SF	40.1 SPACES
ABC LIQUORS	
FIRST FLOOR: 3,569 SF @ 1/200 SF	17.8 SPACES
SECOND FLOOR:	
RESTAURANT: 2,419 SF @ 1/100	24.2 SPACES
BANQUET STOR.: 1,020 @ 1/300	3.4 SPACES
THIRD FLOOR: 3,239 SF @ 1/100 SF	32.4 SPACES
SIX UNIT APARTMENT BUILDING	
	12 SPACES
MAINWAY CONTAINER: 348 SF @ 1/100 SF	
	4 SPACES
DISTILLERY	
8,695 SQ. FT. @ 1/400 SF	22 SPACES
TOTAL PARKING REQUIRED	
424 SPACES	
PARKING PROVIDED	
PARCELS 6846, 6847, 6853, 6854, 6860, 6861	65 SPACES
PARCEL 6859	3 SPACES
PARCEL 6868	8 SPACES
PARCEL 6843	37 SPACES @ 10' 1 SPACE @ 9' 8 SPACES @ 10' x 22'
PARCEL 6839	49 SPACES
PARCEL 6838	128 SPACES
COMPLIANT SPACES	170 SPACES
NON-COMPLIANT SPACES	170 SPACES
COMPACT PARKING SPACES	
	22 SPACES
TOTAL PARKING PROVIDED	
491 SPACES	

LIST OF DRAWINGS	ISSUE DATE	REV. DATE
CS1 COVER SHEET	2-12-2024	5-01-2024
CIVIL		
C100 OVERALL SITE SURVEY	5-23-2023	
C211 OVERALL SITE PLAN	2-12-2024	4-22-2024
C213 SITE ACCESSIBILITY NOTES AND DETAILS	2-12-2024	
C310 PARTIAL SITE GRADING PLAN	4-18-2023	
C410 SEDIMENT AND EROSION CONTROL PLAN AND SIGNATURES	4-24-2023	
C411 SEDIMENT AND EROSION CONTROL NOTES	4-24-2023	
C510 SITE DETAILS	4-24-2023	4-05-2024
C511 STORMWATER MANAGEMENT NOTES AND DETAILS	4-05-2024	4-30-2024
C610 SITE UTILITIES PLAN	4-05-2024	
C611 PARKING LOT LIGHTING PLAN	2-12-2024	4-05-2024
L111 LANDSCAPE PLAN & SCHEDULE	2-12-2024	4-22-2024
SWM112 EXISTING AREA TAKEOFFS	2-12-2024	4-05-2024
SWM113 PROPOSED AREA TAKEOFFS	2-12-2024	4-22-2024
ARCHITECTURAL		
A112 PHASE 2 FLOOR PLANS	4-18-2023	
A310 OVERALL AND ENLARGED EAST ELEVATION	4-18-2023	
A311 SOUTH, WEST, AND NORTH ELEVATIONS	4-18-2023	

PROJECT DATA
DEED REF: 00249/ 00159
PLAT REF:
PARCEL No: 6838
LOT No.:
COUNTY: Worcester
TAX MAP: 0113
GRID: 0014
PLAT No.:
SUBDIVISION: 2307

CONTACT INFORMATION
LANDOWNER
THE ADKINS COMPANY P.O. BOX 156 BERLIN, MD 21811 PHONE: (410) 641-2200
CONSULTANT
IOTT ARCHITECTURE & ENGINEERING, INC. 310 HAMMOND STREET, SUITE 100 SALISBURY, MD. 21804 PHONE: (410) 749-7229 E-MAIL: kiott@iottarchitecture.com

ARCHITECT'S CERTIFICATION

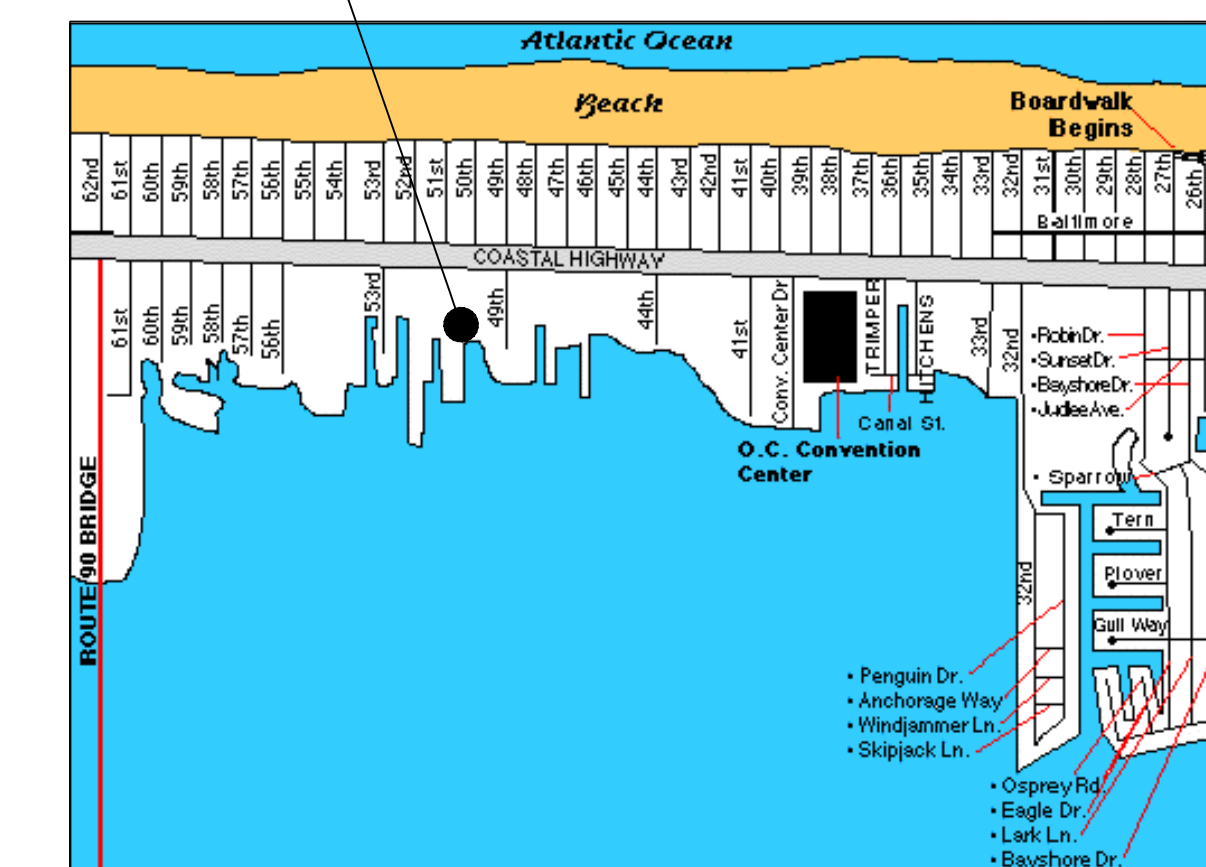
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

KEITH IOTT, LICENSE NO. 8057
EXPIRATION DATE: 3/25/2024

**IOTT ARCHITECTURE
ENGINEERING
INCORPORATED**

310 HAMMOND ST. · SUITE 100 · SALISBURY, MARYLAND
(410) 749-7229 · FAX (410) 749-0001

SITE LOCATION



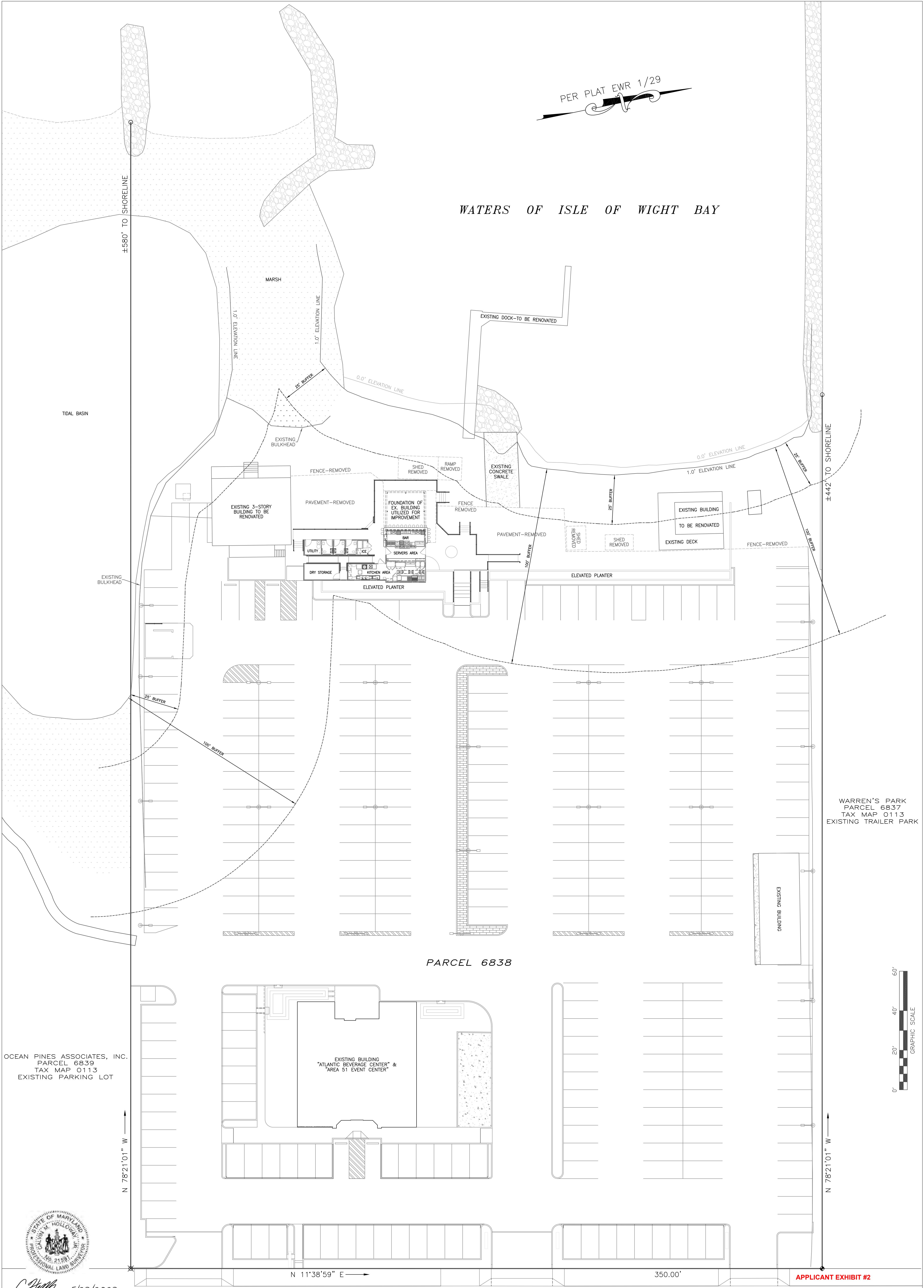
LOCATION MAP
N.T.S.

APPLICANT EXHIBIT #1

PHASE 2 - YOUR BEACH - BAYFRONT VENUE
SEACRETS U.S.A.
5003 COASTAL HIGHWAY
OCEAN CITY, MARYLAND

PER PLAT EWR 1/29

WATERS OF ISLE OF WIGHT BAY

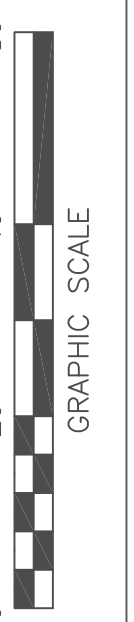


PARCEL 6838

WARREN'S PARK
PARCEL 6837
TAX MAP 0113
EXISTING TRAILER PARK

OCEAN PINES ASSOCIATES, INC.
PARCEL 6839
TAX MAP 0113
EXISTING PARKING LOT

EXISTING BUILDING
"ATLANTIC BEVERAGE CENTER" &
"AREA 51 EVENT CENTER"



5/23/2023
DATE:

BENCHMARK
LAND SURVEYING, INC.
24 Broad Street
Berlin, MD 21811
410-641-3313
cal@benchmarkmd.com

- LEGEND:
- ⊕ DENOTES RE--BAR, SET
 - ⊗ DENOTES DRILL HOLE, SET
 - DENOTES UNMARKED POINT

COASTAL HIGHWAY

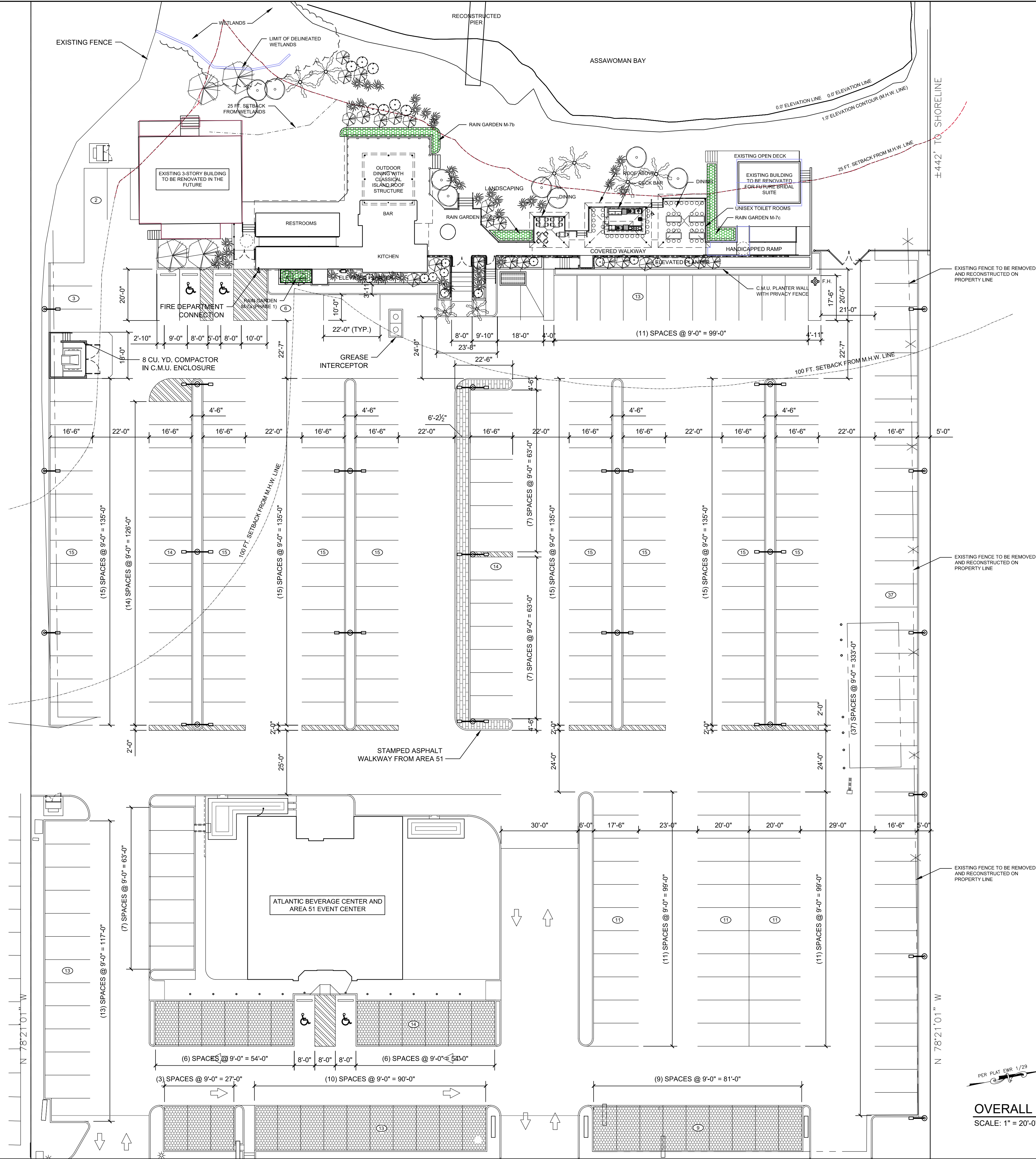
OWNER:
THE ADKINS COMPANY
PROPERTY INFORMATION:
FWH 0249/0159
PARCEL 6838
TAX MAP 0113

NOTES:
THIS PROPERTY IS SITUATED WITHIN FLOOD HAZARD ZONE AE (BFE 4' & 6') AS SHOWN ON FIRM MAP 2404700064H, DATED 07/16/15.
THIS PROPERTY IS IN THE ATLANTIC COASTAL BAYS CRITICAL AREA, ZONE: IDA (INTENSELY DEVELOPED AREA).
ELEVATIONS SHOWN ARE IN FEET ABOVE SEA LEVEL (NAVD 88 ELEVATION DATUM), BASED ON DISC OCM 17A.

JOB: 1947_YOUR--BEACH_SP
SCALE: 1" = 20'
DATE: 05/23/2023

PLAT OF SURVEY
FOR
YOUR BEACH
BAYFRONT EVENT VENUE
5003 COASTAL HIGHWAY
TENTH TAX DISTRICT
WORCESTER COUNTY, MARYLAND

APPLICANT EXHIBIT #2



OVERALL SITE PLAN OF PARCEL 6868
SCALE: 1" = 20'-0"

TOWN OF OCEAN CITY ATLANTIC COASTAL BAYS CRITICAL AREA LAW

This property lies within the Town of Ocean City Atlantic Coastal Bays Critical Area. Any and all proposed development activities must meet the requirements of Section 30 (Environmental), Article VII (Atlantic Coastal Bays Critical Area) of the Town of Ocean City, Maryland, as from time to time to be amended, in effect at the time of the proposed development activities.

STORMWATER MANAGEMENT SUPERVISION AND CERTIFICATION NOTE

The Contractor and the Owner/developer or representative shall provide supervision and certification of all construction of stormwater management practices that provide infiltration and filtering. Such certification shall be provided, by a Professional Engineer, duly licensed by the State of Maryland upon receipt of documentation provided by Owner and Contractor.

STORMWATER MANAGEMENT PRE-CONSTRUCTION MEETING

Contact the Town of Ocean City Environmental Engineer (410-289-8825) to schedule a pre-construction meeting 48 hours prior to commencement of site work. Failure to contact the Environmental Engineer may result in the immediate issuance of a Stop Work Order.

REVISIONS	
NO.	DATE
1	4-05-2024
UPDATE: BUILDINGS AND SITE	

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
 DATE: FEBRUARY 25, 2024
 EXPIRATION DATE: MARCH 25, 2024

**ARCHITECTURE
ENGINEERING**
INCORPORATED

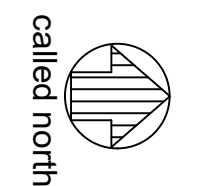
IOTT

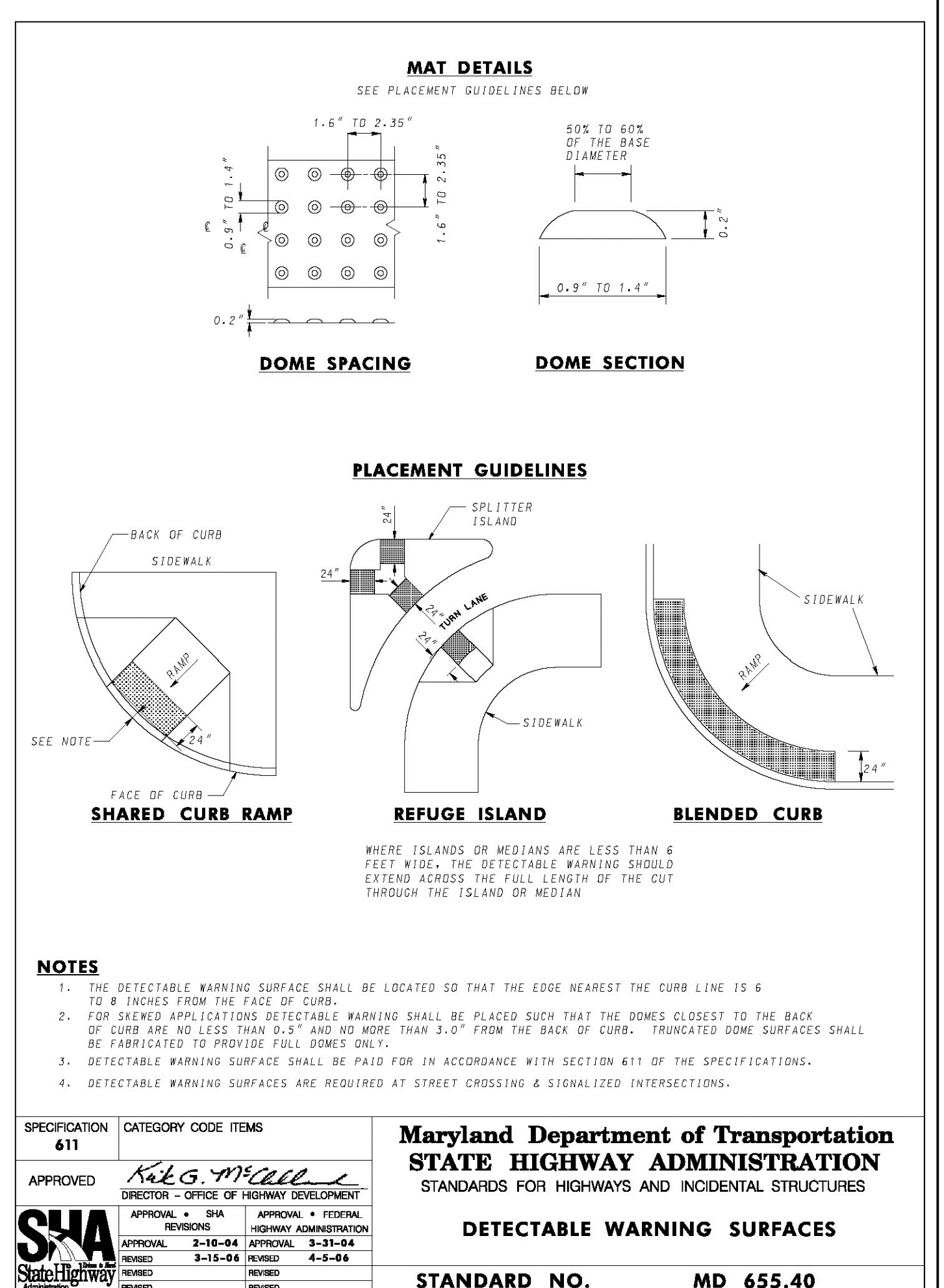
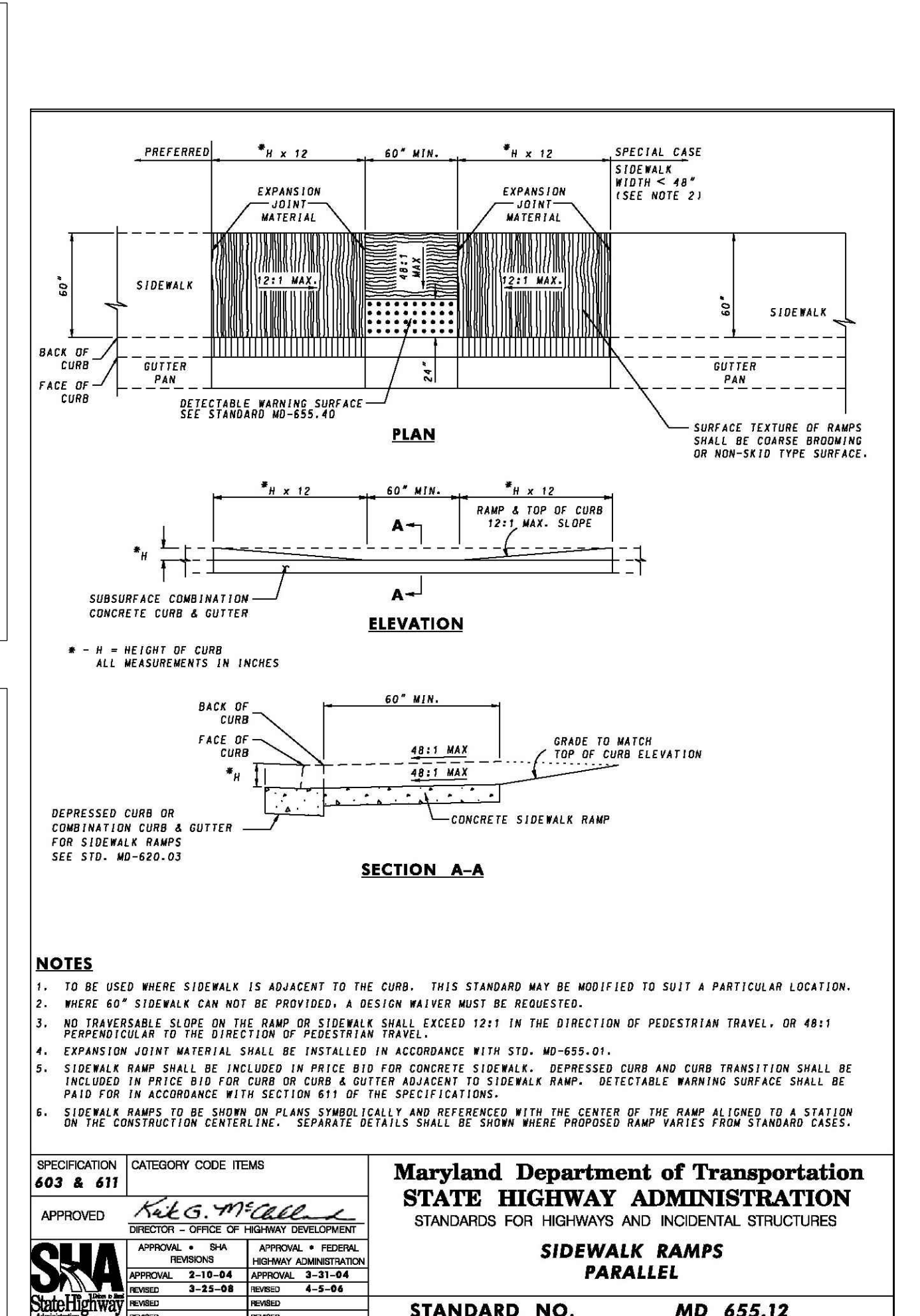
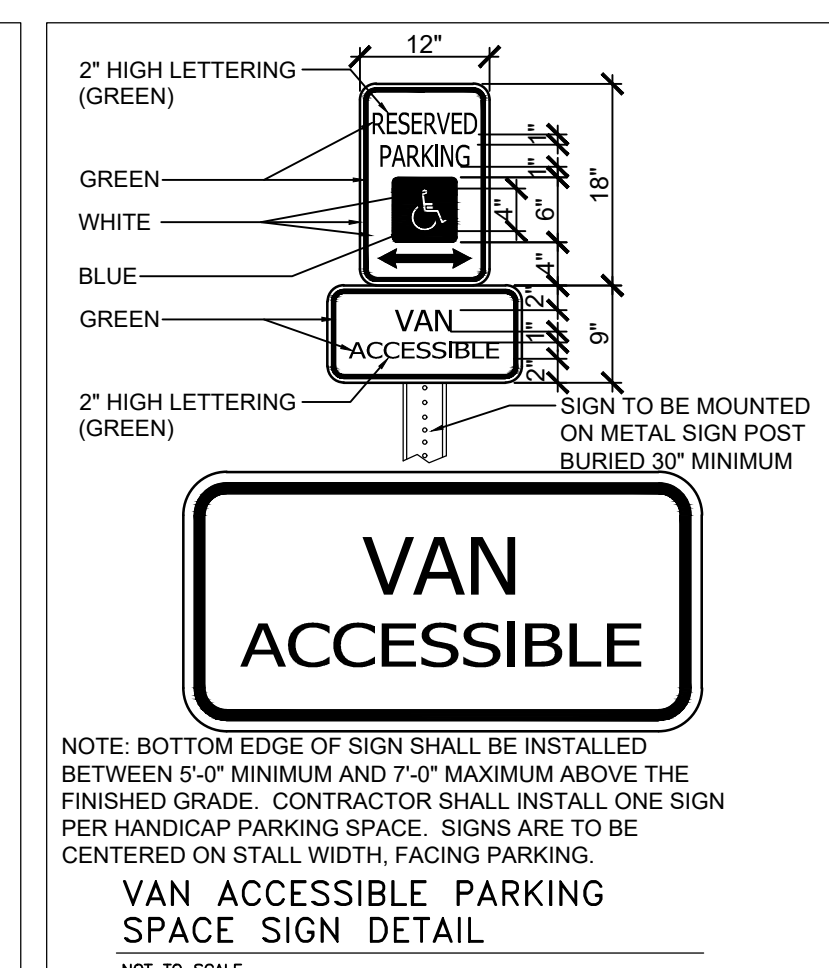
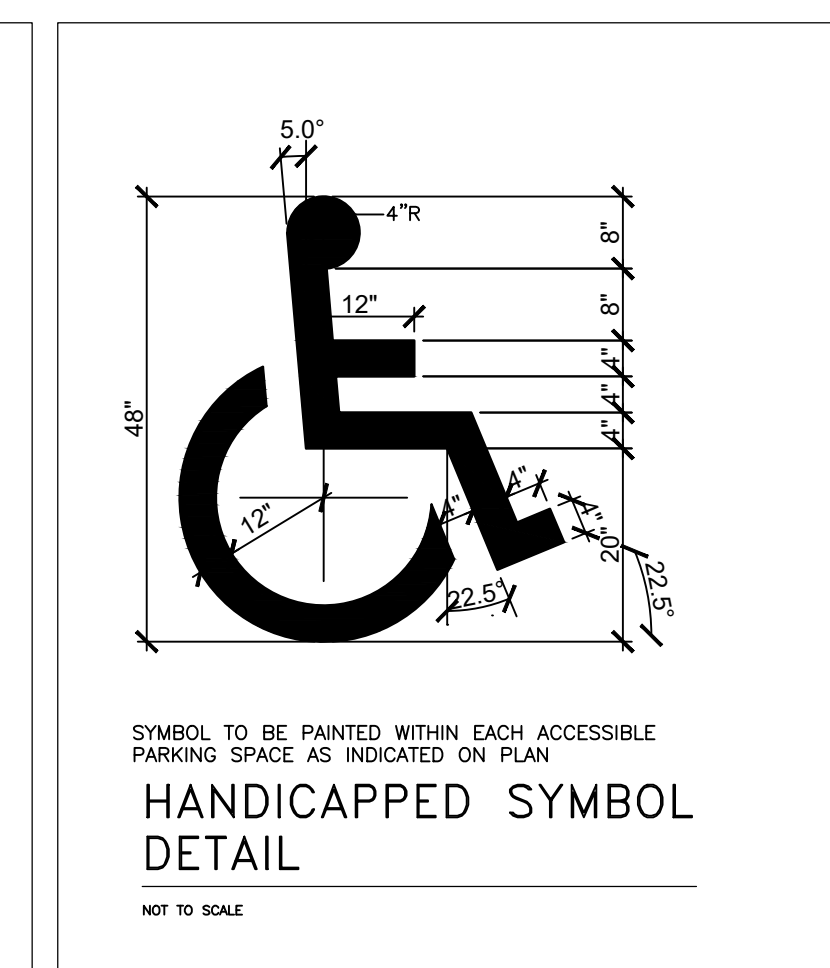
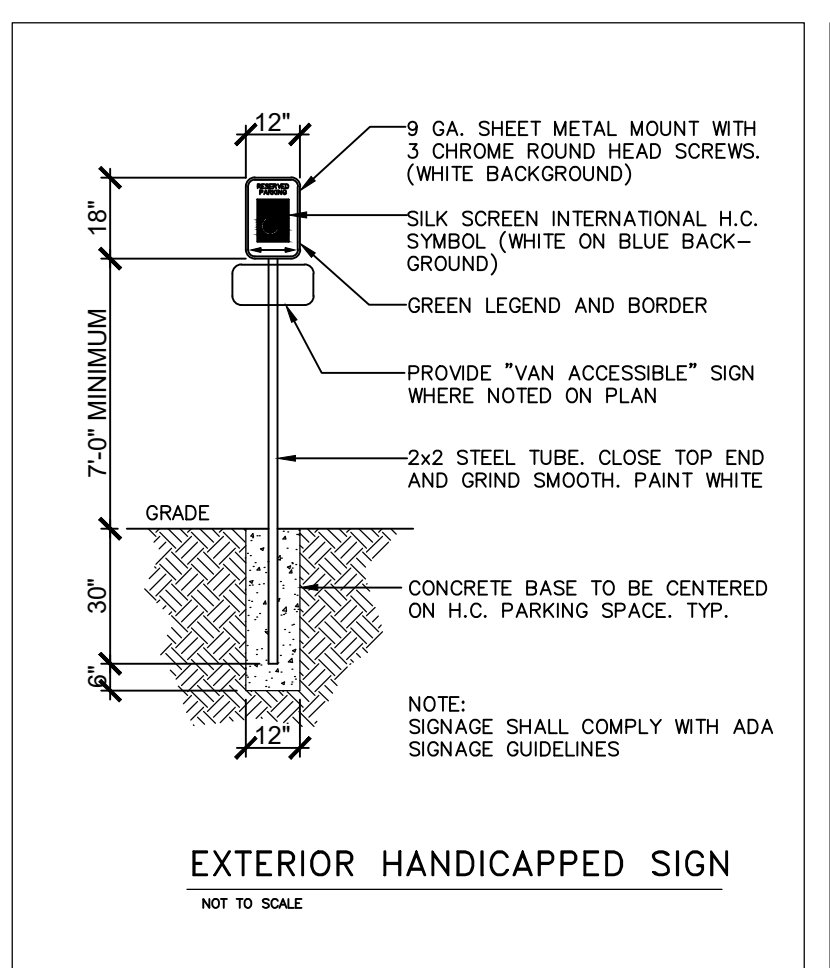
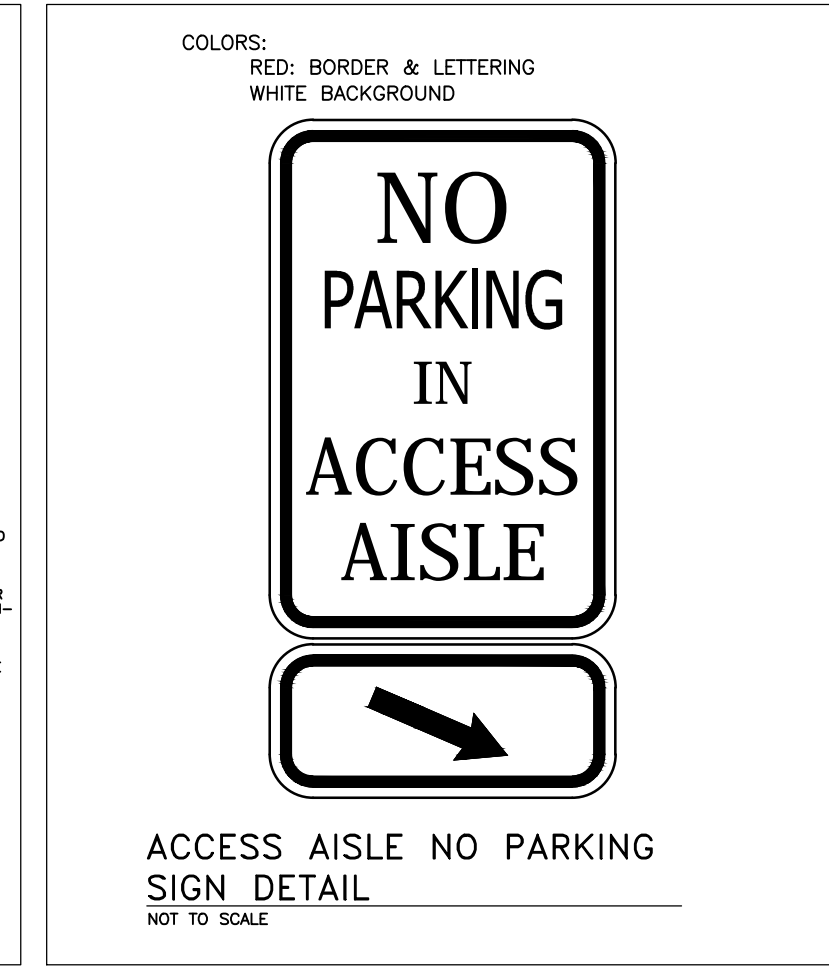
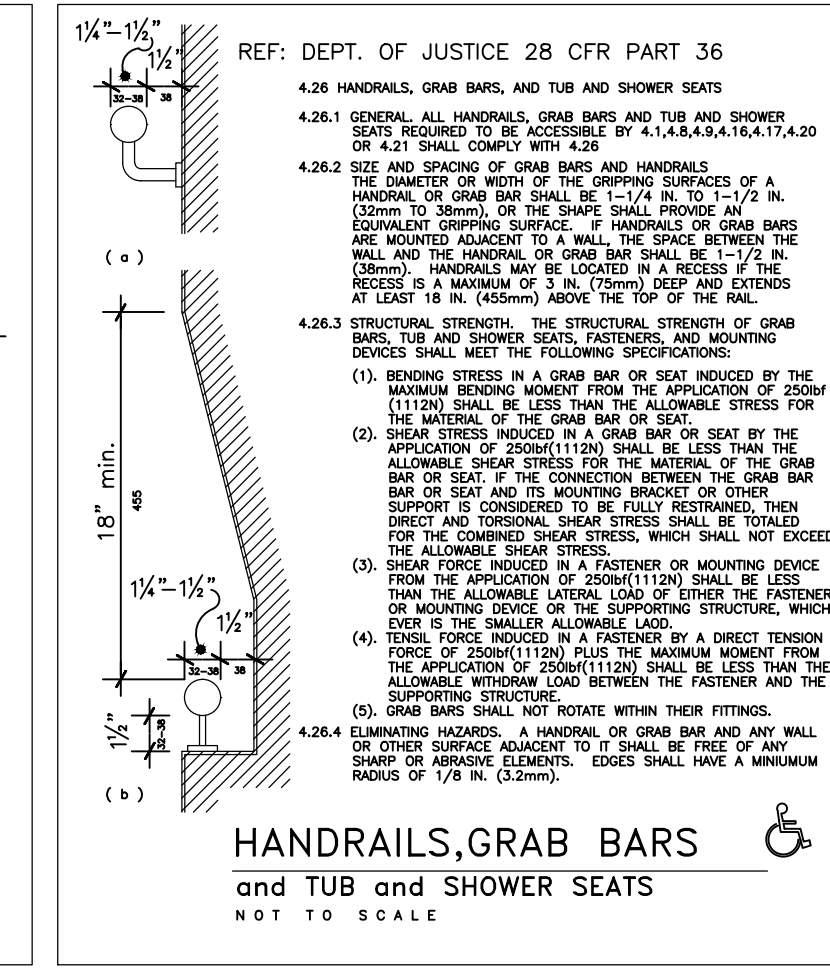
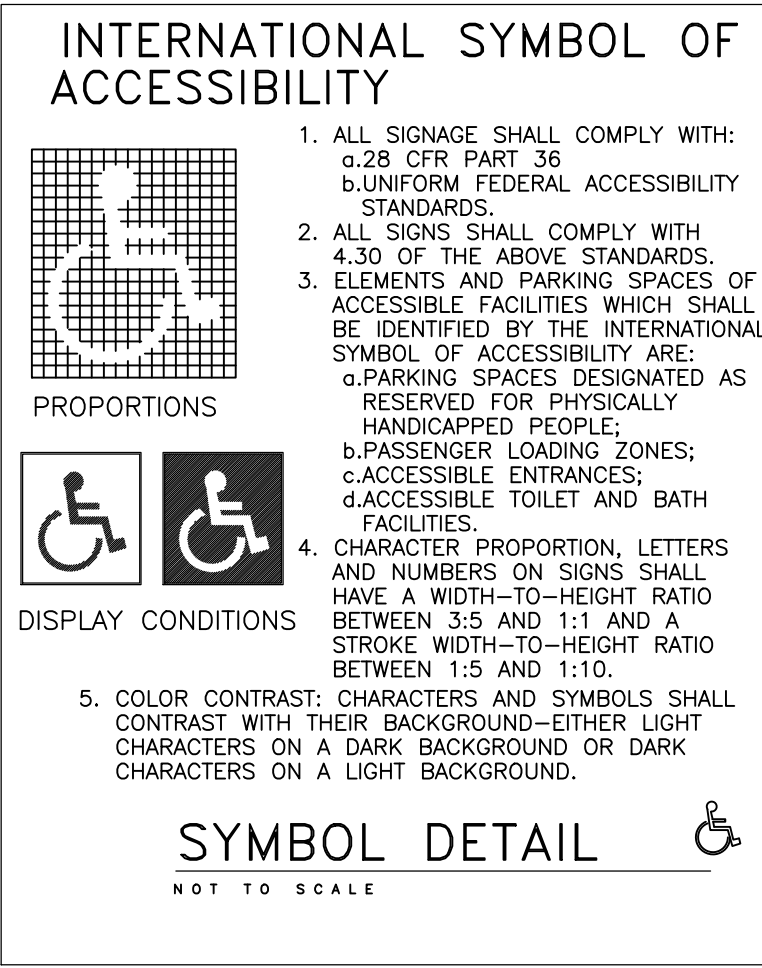
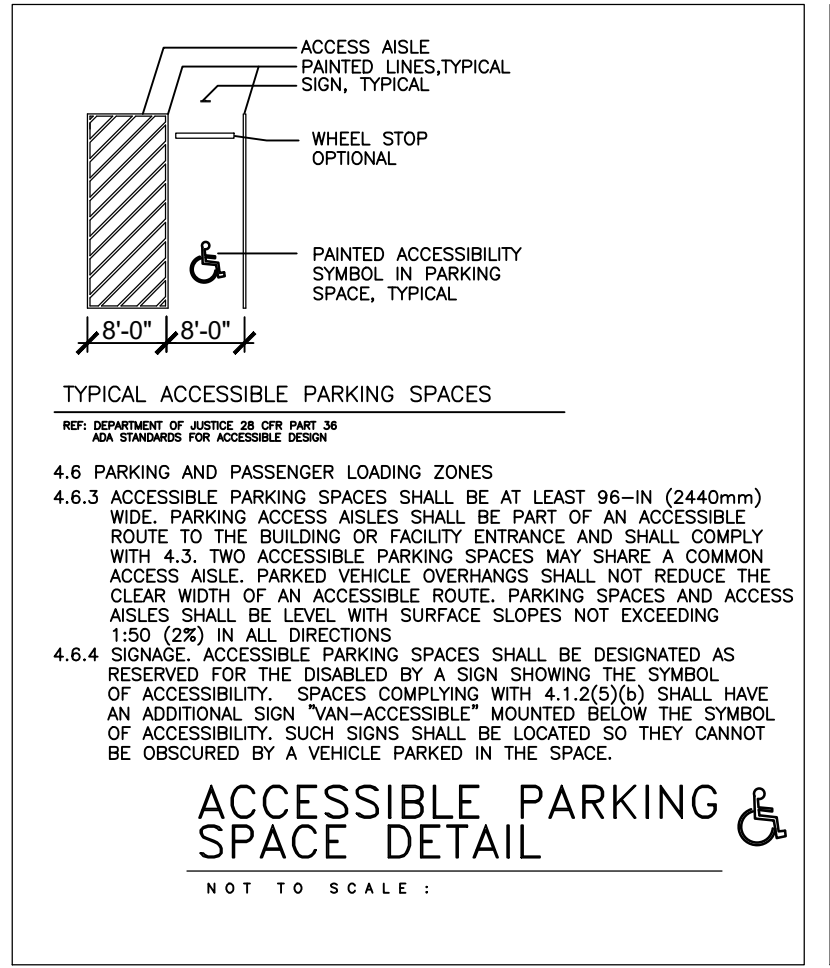
310 HAMMOND ST. • SUITE 100 • SALISBURY, MARYLAND
(410) 749-7229 • FAX (410) 749-0001

**PHASE 2 - YOUR BEACH
BAY FRONT EVENT VENUE & DINING BEACH
SEACRETS, USA
5003 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
OVERALL SITE PLAN**

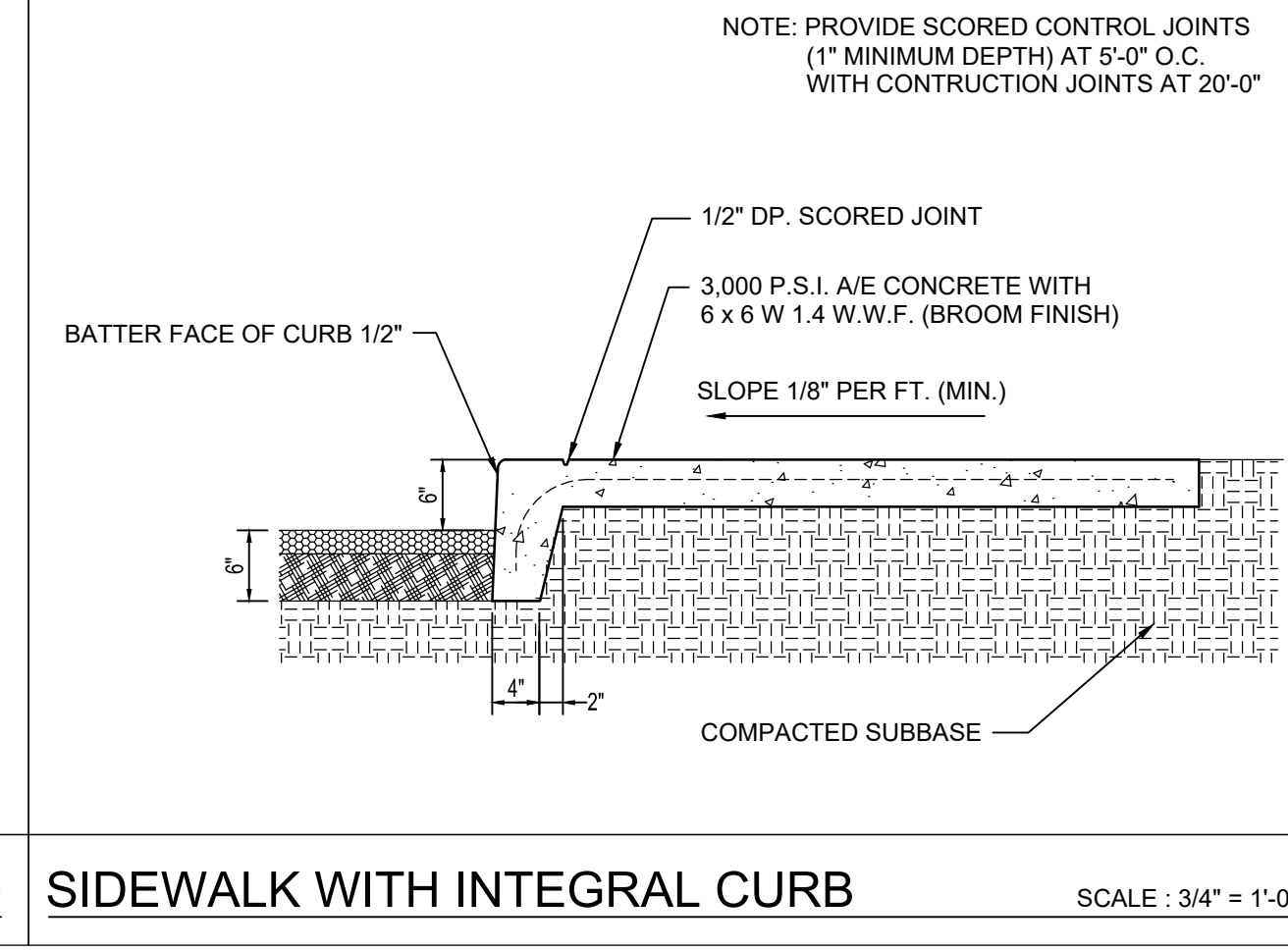
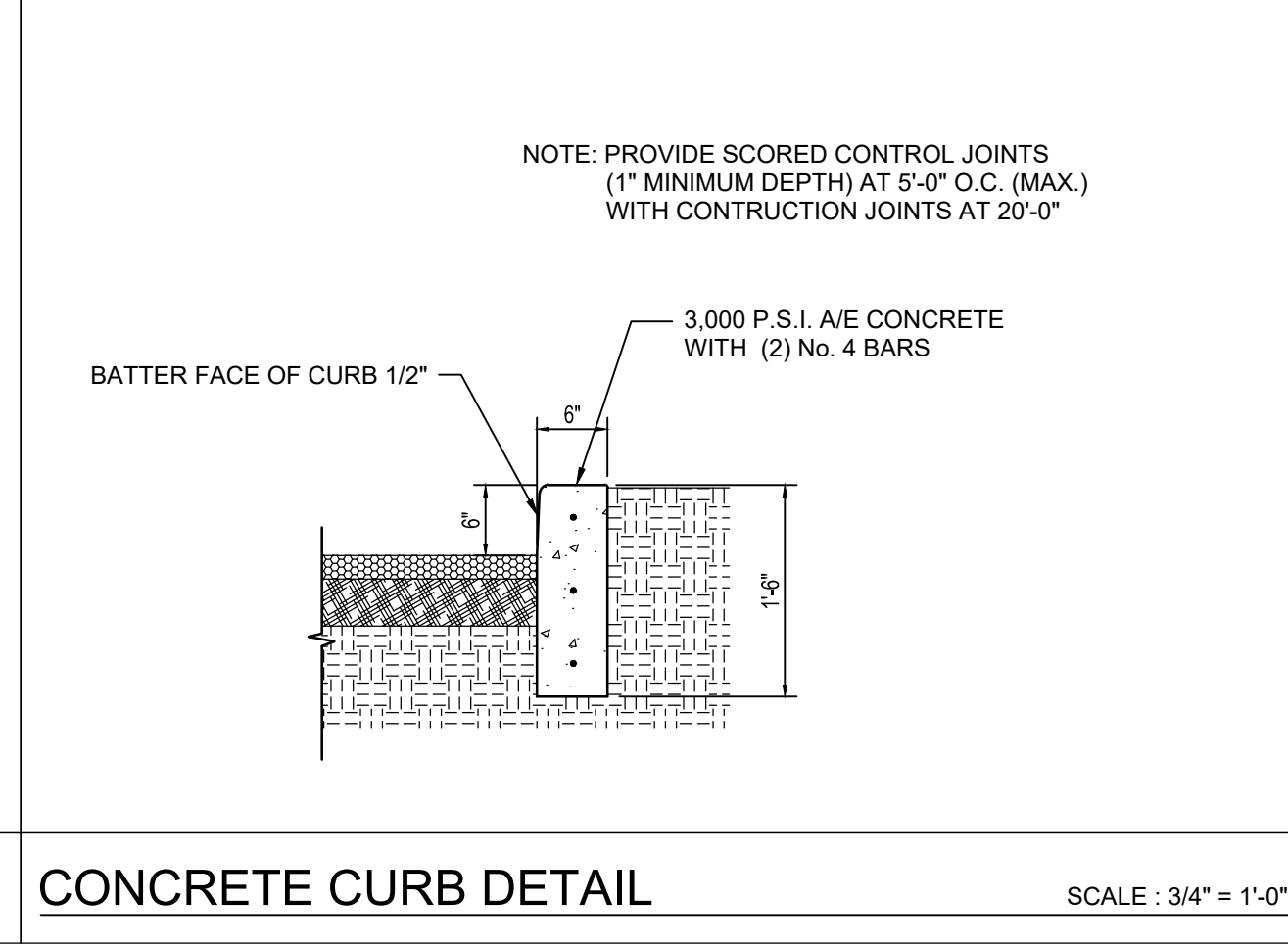
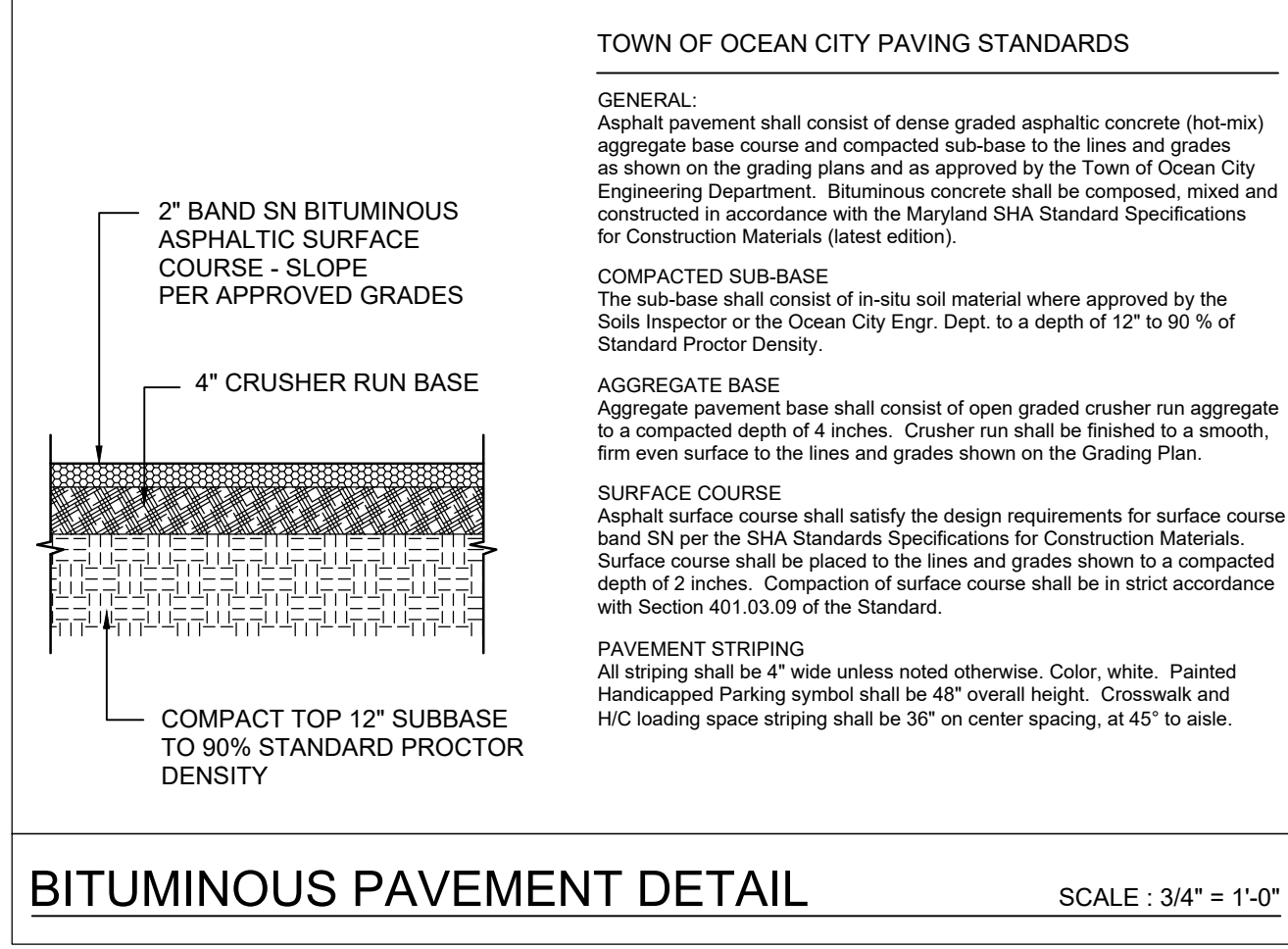
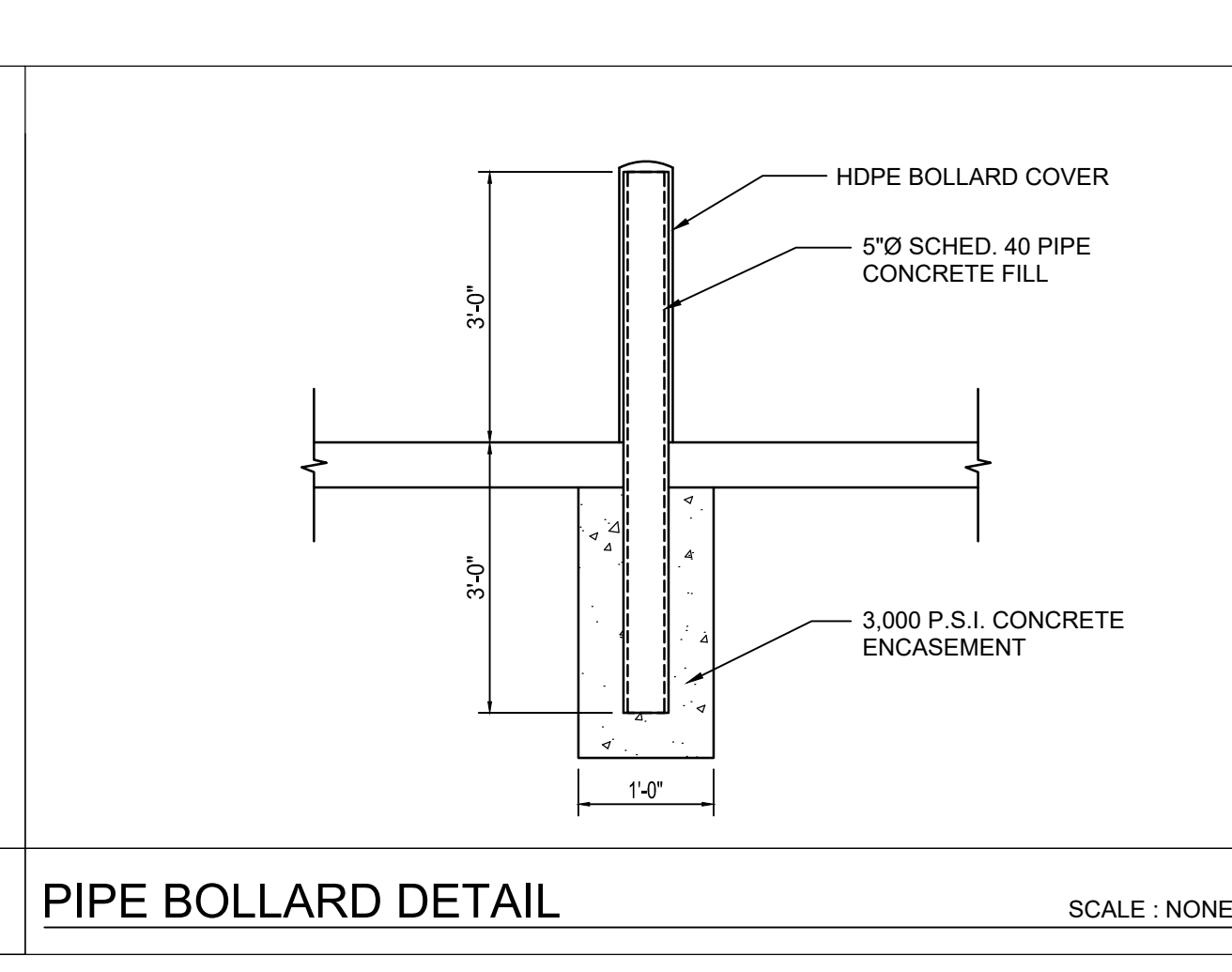
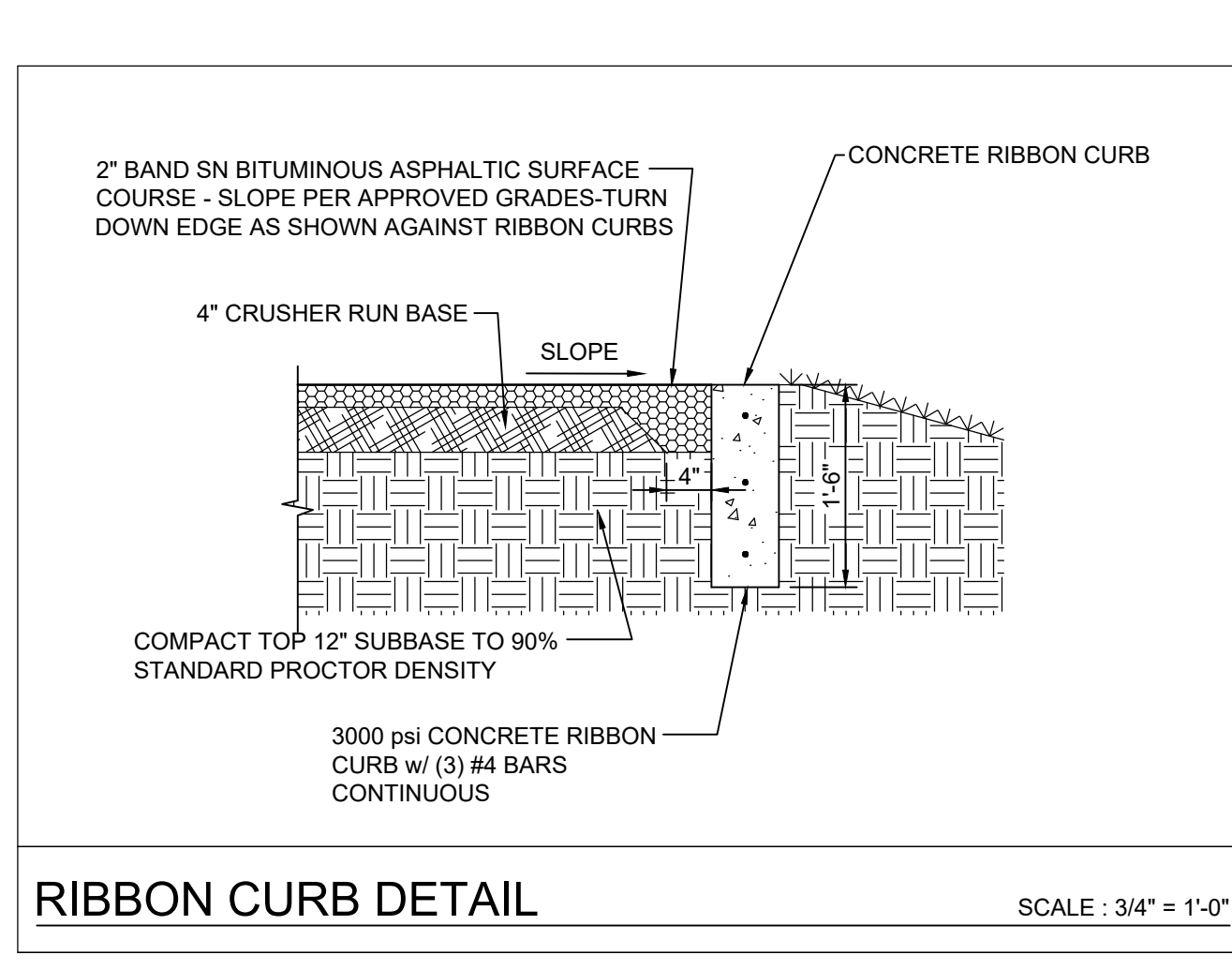
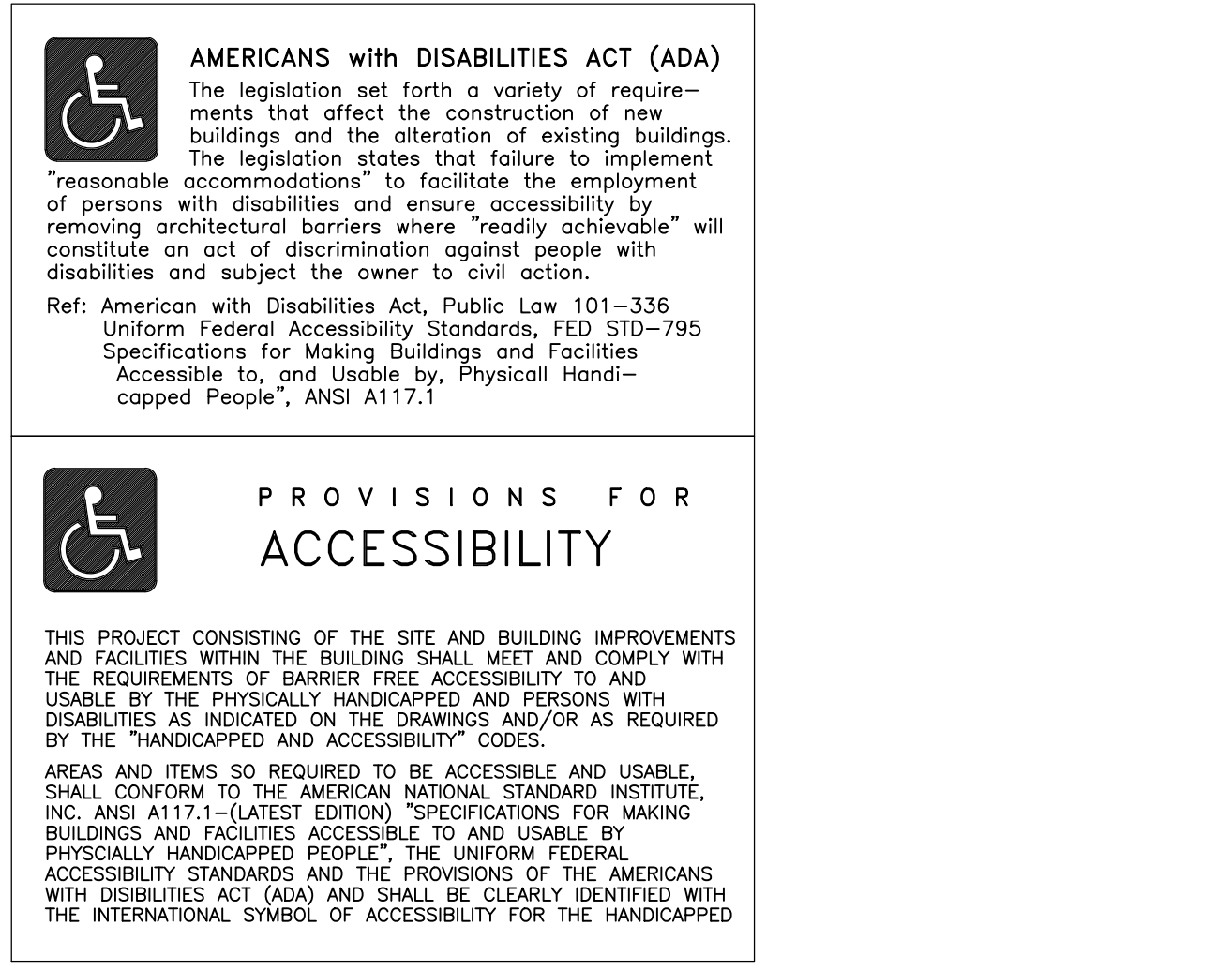
DATE: FEB 12, 2024	DESIGN BY: KI
IOTT PROJ. NO.: 20-062	DRAWN BY: KI
SCALE: 1" = 20'-0"	STAGE: APPROVAL
DWG. FILE: 20-062-C211	

C 211





SITE ACCESSIBILITY NOTES AND DETAILS



NO.	DATE	REVISIONS	REMARKS

CHECK THAT THESE DOCUMENTS WERE PREPARED OR LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND

REGISTERED PROFESSIONAL ARCHITECT
EXPIRATION DATE: MARCH 25, 2024

ARCHITECTURE ENGINEERING INCORPORATED

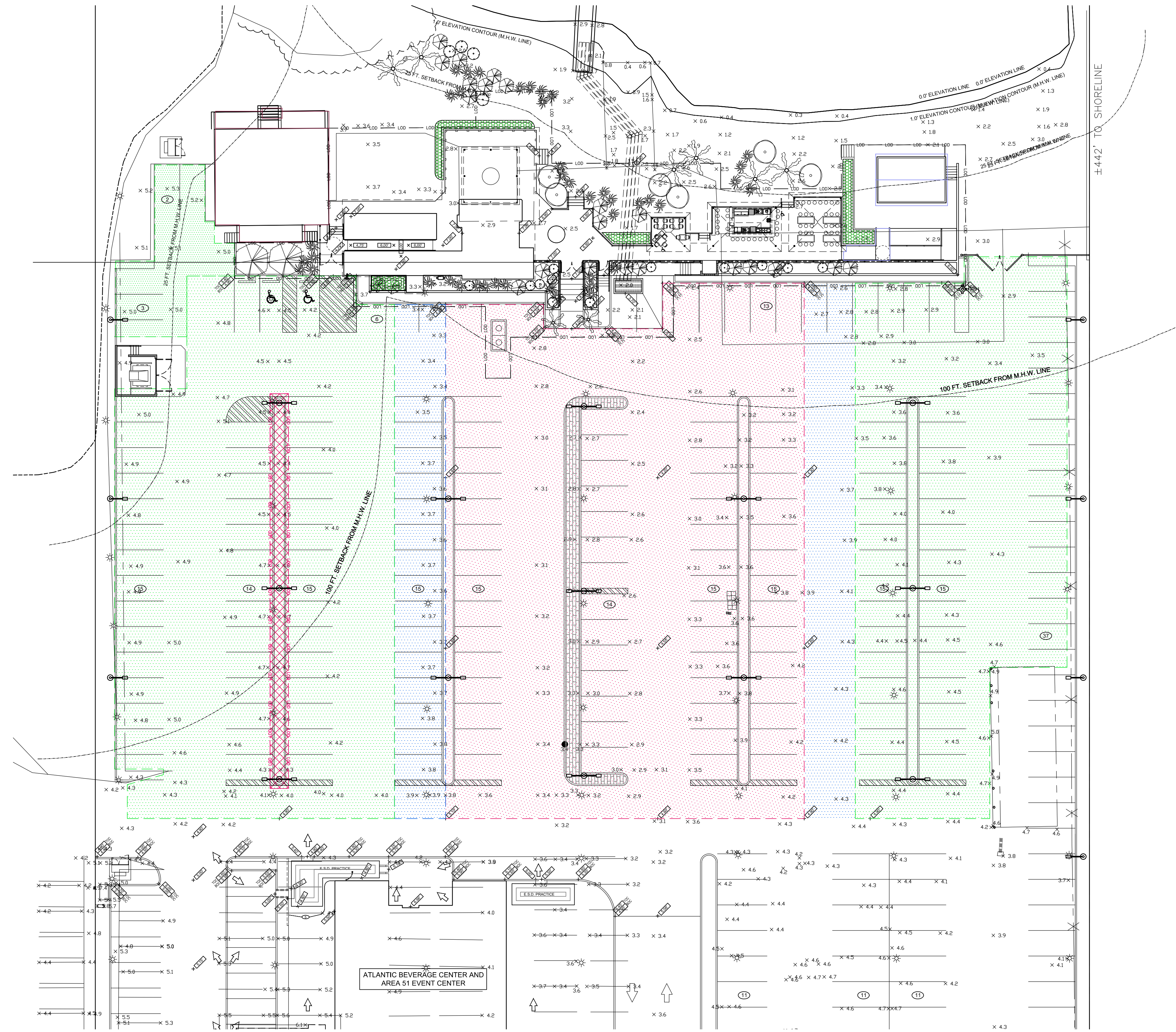
310 HAMMOND ST. • SUITE 100 • SALISBURY, MARYLAND
(410) 749-2229 • FAX (410) 749-0001

PHASE 2 - YOUR BEACH
BAY FRONT EVENT VENUE & DINING BEACH
SEACRETS, USA
5003 COASTAL HIGHWAY
OCEAN CITY, MARYLAND

SITE ACCESSIBILITY NOTES AND DETAILS

DATE: FEB. 12, 2024	DESIGN BY: KI
IOTT PROJ. NO.: 20-062	DRAWN BY: KI
SCALE: AS NOTED	STAGE: APPROVAL
DWG. FILE: 10-024C201	

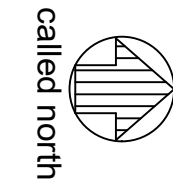
C 213



PAVEMENT HATCH LEGEND

	NEW PAVEMENT OVER NEW ELEVATED GRADES. PULVERIZE EXISTING PAVEMENT IN PLACE TO CREATE MECHANICAL INTERFACE WITH NEW STONE PAVEMENT BASE
	BLEND GRADES BETWEEN NEW PAVEMENT AND MILL AND OVERLAY PAVEMENT
	MILL AND OVERLAY OF EXISTING PAVEMENT. (POTENTIALLY SECOND PHASE WORK)

GRADING AND PAVEMENT REPAIR SITE PLAN
SCALE: 1" = 20'-0"



REVISIONS	
NO.	DATE
1	4-05-2024
UPDATE LOD ADD PHASE 2 BLDGS	
REMARKS	

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR DESIGNED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 PROJECT: 20-062-C310
 EXPIRATION DATE: SEPT. 11, 2024

**ARCHITECTURE
ENGINEERING
INCORPORATED**

IOTT

310 HAMMOND ST. • SUITE 100 • SALISBURY, MARYLAND
(410) 749-7229 • FAX (410) 749-0001

**YOUR BEACH
BAY FRONT EVENT VENUE
SEACRETS, USA
5003 COASTAL HIGHWAY
OCEAN CITY, MARYLAND**

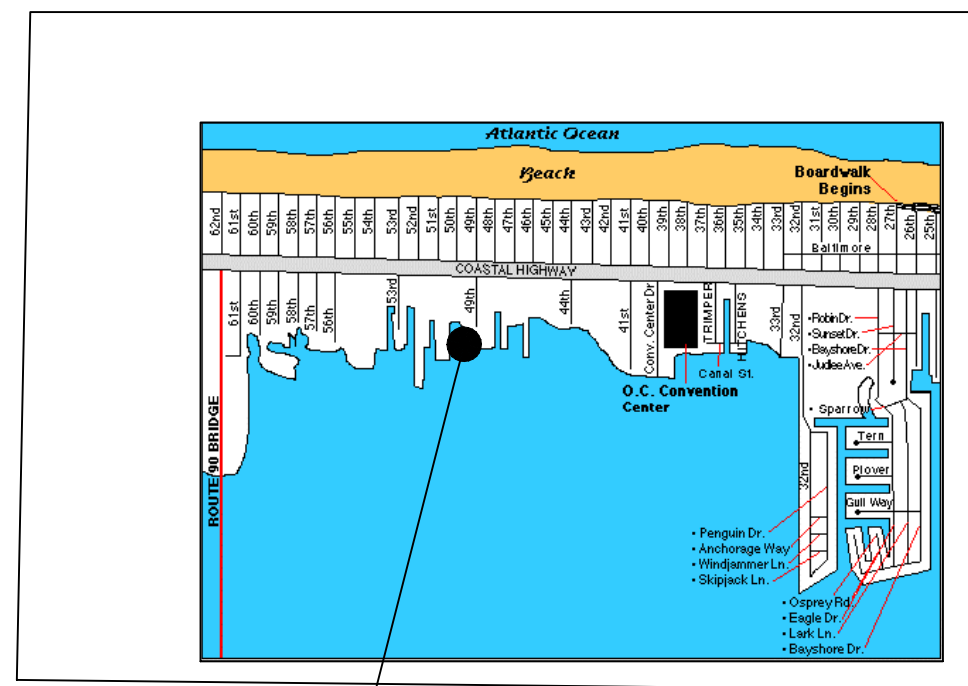
SITE GRADING AND PAVEMENT REPAIR PLAN

DATE: JANUARY 18, 2024
 IOTT PROJ. NO.: 20-062
 DESIGN BY: KI
 DRAWN BY: KI
 SCALE: 1" = 10'-0"
 STAGE: APPROVAL
 DWG. FILE: 20-062-C310

**C
310**

SEQUENCE OF CONSTRUCTION

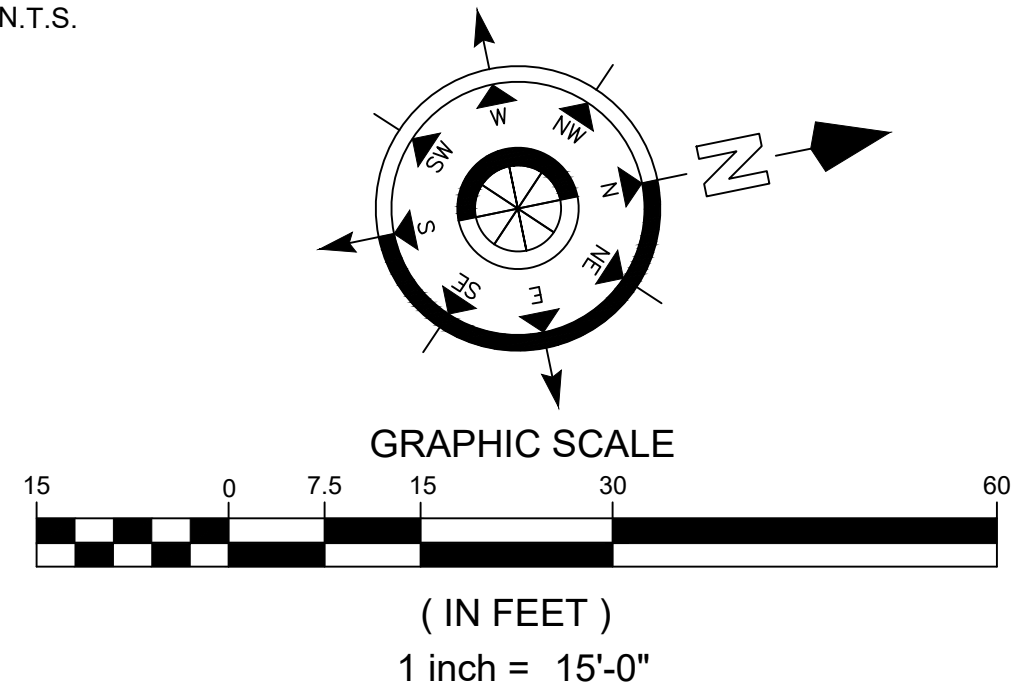
- OBTAIN ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL PERMITS ETC.,
- CONTACT THE TOWN OF OCEAN CITY AT 410-289-8845 AND MDE AT 410-901-4020 TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO DO SO MAY RESULT IN AN IMMEDIATE "STOP WORK ORDER"
- CLEAR AND GRUB AS NECESSARY FOR THE INSTALLATION OF PERIMETER CONTROLS.
- INSTALL SILT FENCE AND SILT FENCE ON PAVEMENT AS SHOWN ON APPROVED PLAN AND IN ACCORDANCE WITH THE STANDARD DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PERIMETER CONTROLS IN ACCORDANCE WITH THE STANDARD DETAILS FOR THE DURATION OF THE PROJECT.
- CONTACT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AFTER THE INSTALLATION OF THE SILT FENCE AND SILT FENCE ON PAVEMENT BUT BEFORE PROCEEDING WITH ANY OTHER EARTH-DISTURBING ACTIVITIES.
- BEGIN DEMOLITION OF EXISTING STRUCTURES AND EXISTING UTILITIES WITHIN THE PROJECT LOD. ALL DEMOLITION DEBRIS MUST BE DISPOSED OF AT AN APPROVED OFFSITE LOCATION.
- FOR ALL DISTURBED AREAS OUTSIDE THE PERIMETER CONTROL STABILIZATION IS AS FOLLOWS:
 - FOR NON-ROADWAY AREAS, ALL DISTURBED AREAS MUST BE STABILIZED BY AN APPROVED METHOD AT THE END OF EACH WORK DAY.
 - FOR ROADWAY AREAS, TRENCHES MUST BE BACKFILLED AND STABILIZED WITH MINIMUM 6" OF STONE BY THE END OF EACH WORK DAY.
 - ONLY THAT TRENCH WHICH IS NECESSARY FOR DAILY UTILITY INSTALLATION SHALL BE EXCAVATED. ALL SPOIL SHALL BE PLACED ON THE UPHILL SLOPE OF TRENCH WHERE FEASIBLE.
 - IF THE CONTRACTOR REQUESTS, AND THE EROSION AND SEDIMENT CONTROL INSPECTOR GRANTS THAT THE TRENCH BE LEFT OPEN, THEN FURTHER PERIMETER CONTROL MEASURES (SILT FENCE) WILL BE REQUIRED ON THE DOWNHILL SLOPE.
- BEGIN OVERALL SITE GRADING, EXCAVATION FOR BUILDING AND INSTALLATION OF ALL UTILITIES. FOR UTILITY INSTALLATION IN ROADWAY AREAS, TRENCHES MUST BE BACKFILLED AND STABILIZED WITH MINIMUM 6" OF STONE BY THE END OF EACH WORK DAY. ANY SOIL/DEBRIS REMAINING ON ROADWAY MUST BE SWEEPED CLEAN BY THE END OF EACH WORK DAY. ANY SOIL/DEBRIS MUST BE DISPOSED OF AT AN APPROVED OFFSITE LOCATION. AN APPROVED OFFSITE LOCATION IS ONE HAVING A CURRENT EROSION AND SEDIMENT CONTROL PLAN. BEGIN BUILDING CONSTRUCTION.
- ± BUILDING CONSTRUCTION IS COMPLETE.
- INSTALL RIBBON CURBS, CURBS AND SIDEWALKS AS SHOWN ON THE APPROVED PLAN.
- EXCAVATE AND INSTALL M-7 RAIN GARDEN. OVER EXCAVATE ENTIRE PRACTICE TO THE WATER TABLE AND BACKFILL WITH FREE DRAINING SAND.
- STABILIZE SITE IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS AS SHOWN ON THE APPROVED PLAN.
- BEGIN NEW PAVING.
- INSTALL LANDSCAPING IN ACCORDANCE WITH THE APPROVED PLAN.
- ± JOB IS COMPLETE
- AFTER ASSURANCE THAT THE ENTIRE SITE IS STABILIZED AND WITH THE APPROVAL OF THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, REMOVE SEDIMENT CONTROL MEASURES.



SITE LOCATION

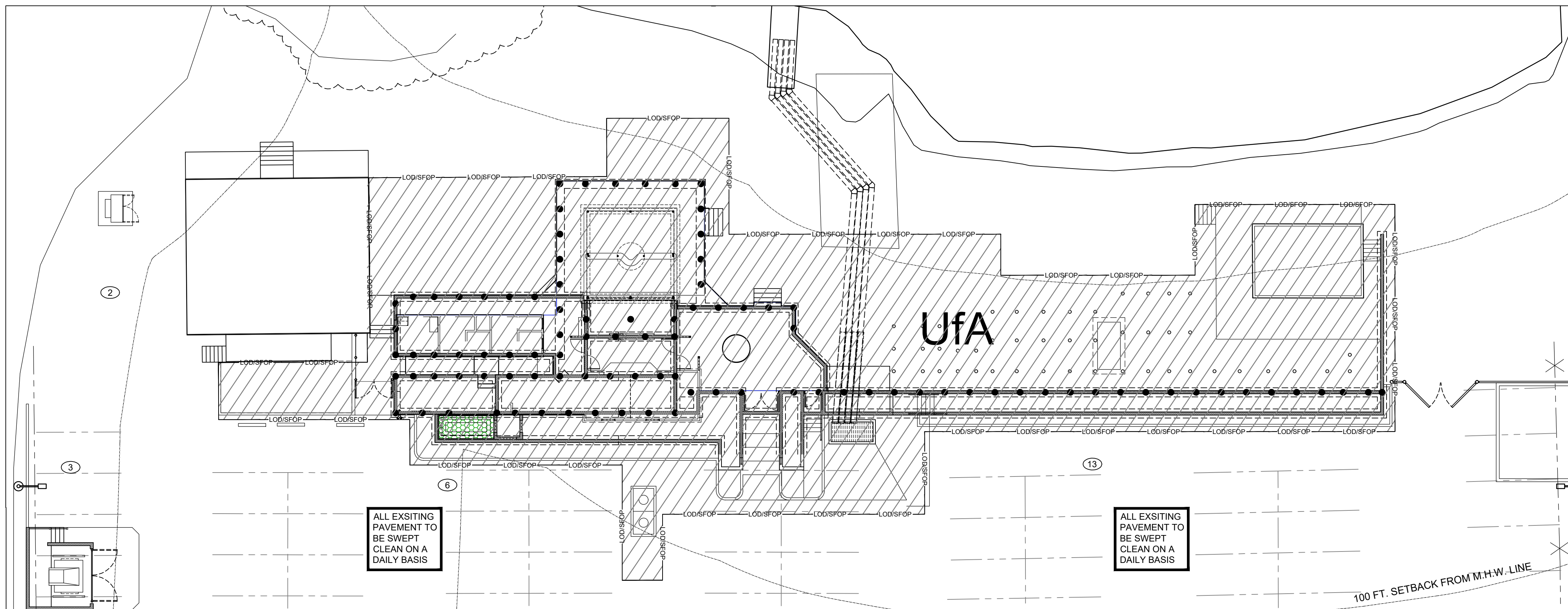
LOCATION MAP

N.T.S.



SEQ. OF CONST. FOR STORMWATER OUTFALL

- OBTAIN ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL PERMITS ETC.,
 - CONTACT THE TOWN OF OCEAN CITY AT 410-289-8845 AND MDE AT 410-901-4020 TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO DO SO MAY RESULT IN AN IMMEDIATE "STOP WORK ORDER"
 - INSTALL SILT FENCE AND SILT FENCE ON PAVEMENT AS SHOWN ON APPROVED PLAN AND IN ACCORDANCE WITH THE STANDARD DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PERIMETER CONTROLS IN ACCORDANCE WITH THE STANDARD DETAILS FOR THE DURATION OF THE PROJECT.
 - CONTACT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AFTER THE INSTALLATION OF THE SILT FENCE AND SILT FENCE ON PAVEMENT BUT BEFORE PROCEEDING WITH ANY OTHER EARTH-DISTURBING ACTIVITIES.
 - INSTALL FOUR (4) 12" ADS STORMWATER PIPES FROM EXISTING CONCRETE SWALE TO THE WESTERLY SIDE OF THE PROPOSED ELEVATED LANDSCAPE PLANTER.
 - SECURE STORMWATER OUTFALL PIPES TO CONCRETE SWALE USING STAINLESS STEEL OR GALVANIZED STEEL STRAPS WITH STAINLESS STEEL EXPANSION ANCHORS. BACKFILL AROUND STORMDRAIN PIPES WITH BEACH SAND.
- THE NEXT ACTIVITIES MUST BE COORDINATED WITH WEATHER REPORTS TO MINIMIZE THE POTENTIAL FOR INUNDATION OF NEW WORK FROM RAIN EVENTS.
- DEMOLISH EXISTING PARKING LOT PAVEMENT AND SUBGRADE TO ALLOW PLACEMENT OF PRECAST CONCRETE CATCH BASIN.
 - INSTALL PRECAST CONCRETE CATCH BASIN ON STONE SETTING BED TO THE ELEVATIONS SHOWN THESE DRAWINGS.
 - INSTALL FOUR 12" ADS STORMDRAIN PIPES ABOVE RECENTLY CONSTRUCTED PLANTER FOOTING FROM NEW STORMDRAIN ENDS TO THE PRECAST CONCRETE CATCH BASIN.
 - GROUT STORMDRAIN PIPES INTO CATCH BASIN USING HYDRAULIC GROUT.
 - BACKFILL AND COMPACT CATCH BASIN AND NEW STORMDRAIN PIPES USING NUMBER 57 STONE.
 - INSTALL STORMDRAIN GRATES OVER FILTER FABRIC SEDIMENT PROTECTION.
 - COMPLETE PARKING LOT GRADING AND MILLING AND OVERLAY.
 - COMPLETE PARKING LOT PAVEMENT.
 - ONCE PAVING IS COMPLETE AND THERE IS NO MORE SEDIMENT, REMOVE FILTER FABRIC SEDIMENT PROTECTION FROM BENEATH CATCH BASIN INLET GRATES.



SEDIMENT AND EROSION CONTROL PLAN

SCALE: 1" = 15'

Your Beach - Bayfront Event Venue
5003 Coastal Highway Ocean City, MD
Owner/Developer Certification

I/we hereby certify that any clearing, grading, construction, or development will be done pursuant to the approved erosion and sediment control plan, including inspecting and maintaining controls, and that the responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Department of the Environment (MDE) approved training program for the control of erosion and sediment prior to beginning the project. The owner/developer further certifies the right of entry for periodic on-site evaluation by the appropriate enforcement authority and/or MDE

Signature _____ Date _____
Name (print) _____ Title _____

Engineer's Certification

I certify that this Plan of Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site, and that this plan was prepared in accordance with the requirements of the Soil Conservation District and the "Standards and Specifications for Soil Erosion and Sediment Control" to the best of my knowledge, and I have reviewed this Erosion and Sediment Plan with the Owner/Developer of this project.

Signature _____ Date _____
Name (print) KEITH IOTT Maryland license No. 17951

THIS PROJECT LIES WITHIN THE ATLANTIC COASTAL BAYS CRITICAL AREA THEREFORE THE MARYLAND STATE FOREST CONSERVATION PROGRAM DOES NOT APPLY

THIS PROJECT IS LOCATED IN THE ATLANTIC COASTAL BAYS CRITICAL AREA IDA

SOIL TYPE: Ufa - Urban Land-Fox Hill Complex. 0 to 2 Percent Slopes, Frequently Flooded. Hydrologic Soil Group D

Owner/Developer Enforcement Authority Contact Statement

The owner/developer or representative is to contact the appropriate enforcement authority or its agent at the following stages of the project or:

- Prior to start of earth disturbance;
- Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any earth disturbance or grading;
- Prior to the start of another phase of construction or opening of another grading unit;
- Prior to the removal of sediment control practices;

Suspension or Revocation

Any erosion and sediment control approval issued may be suspended or revoked after written notice is given for any of the following reasons or as determined by the appropriate approval authority:

- Terms or conditions of the approved erosion and sediment control plans were violated;
- Violation notice(s) or stop work order(s) were ignored;
- Site characteristics upon which plan approval was based were changed; or
- Construction standards as required by the approval plan were disregarded.

NOTICE OF INTENT (NOI)

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN NOI GENERAL PERMIT FOR CONSTRUCTION ACTIVITY.

A MARYLAND DEPARTMENT OF THE ENVIRONMENT NOTICE OF INTENT (NOI) GENERAL PERMIT FOR CONSTRUCTION ACTIVITY IS REQUIRED FOR ALL CONSTRUCTION ACTIVITY IN MARYLAND WITH A PLANNED TOTAL DISTURBANCE OF 1 ACRE OR MORE.

AS MANDATED BY THE NOTICE OF INTENT (NOI) GENERAL PERMIT ISSUED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, AN INSPECTION MUST BE PERFORMED ONSITE OF ALL SEDIMENT CONTROLS ON A WEEKLY BASIS AND AFTER EVERY RAINFALL EVENT. ALL SELF INSPECTIONS MUST BE MAINTAINED ALONG WITH ALL APPLICABLE GOVERNING AGENCY INSPECTION REPORTS IN A LOG BOOK, TO BE KEPT ONSITE AT ALL TIMES.

Maintenance Statement

Maintenance shall be performed as necessary to ensure that stabilized areas continuously meet the appropriate requirements of the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control"

Standard Stabilization Note

Following initial disturbance or re-disturbance, permanent or temporary stabilization must be completed within:

- Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
- Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.

NO SOIL STOCKPILES SHALL BE LOCATED WITHIN 25' OF CRITICAL AREA BUFFER. ALL STOCKPILE AREAS MUST RECEIVE PERIMETER CONTROL IF LEFT OVERNIGHT.

ANY TRENCH DEWATERING MUST BE BY AN APPROVED METHOD TO ENSURE THAT NO EROSION OR SEDIMENTATION OCCURS IN WETLANDS/WATERS OF THE STATE.

APPROXIMATE CUT= 0 yd³

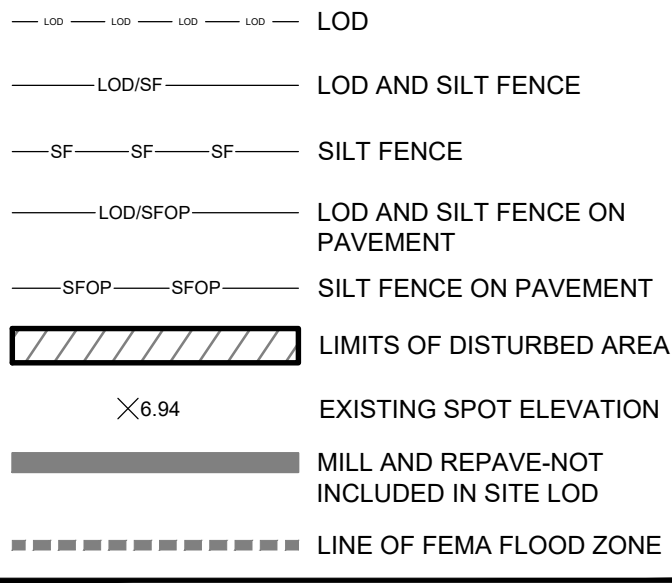
APPROXIMATE FILL= 0 yd³

APPROXIMATE BORROW= 0 yd³

APPROXIMATE SPOIL= 0 yd³

NOTE: APPROXIMATE CUT, FILL, BORROW AND SPOIL ESTIMATES ARE NOT TO BE USED BY CONTRACTOR FOR MATERIAL TAKEOFF PURPOSES

STANDARD SYMBOL LEGEND



CONTACT INFORMATION

LANDOWNER
THE ADKINS COMPANY
P.O. BOX 156
BERLIN, MARYLAND 21811
PHONE: (410)

DEVELOPER
O.C. SECRETS, INC.
117 49TH ST
OCEAN CITY, MD 21842-5315
PHONE: (410) 524-4900

CONSULTANT
IOTT ARCHITECTURE & ENGINEERING, INC.
310 HAMMOND STREET, SUITE 100
SALISBURY, MD 21804
PHONE: (410) 749-7229
FAX: (410) 749-0001
E-MAIL: kiott@iottarchitecture.com

PROJECT DATA

DEED REF: 00249/ 00159
PLAT REF:
PARCEL No: 6838
LOT No.:
COUNTY: Worcester
TAX MAP: 0113
GRID: 0014
PLAT No.:
SUBDIVISION: 2307

SITE DATA

TOTAL SITE AREA (LOD) = 12,960 ft² or 0.30 acres
LIMITS OF DISTURBANCE = 12,960 ft² or 0.30 acres
MILLING AND REPAVING = 60,002.5 ft²
R.O.W. LIMITS OF DISTURBANCE = N/A
TOTAL PROJECT LOD = 12,960 ft² or 0.30 acres

Plan approval Statement

Approved plans remain valid for 3 years from the date of approval, with the exception of surface mine and landfill plans which will remain valid for 5 years from the date of approval unless specifically extended or renewed by the approval authority.

Modifications of Approved Erosion and Sediment Control Plans

Modifications to an approved plan may be requested by the owner/developer or required by the appropriate approval or enforcement authority. Modification of an approved erosion and sediment control plan must be made in accordance with the erosion and sediment control criteria contained in the Worcester Soil Conservation District Standards and/or as directed by the enforcement authority. A written statement explaining the change(s), all revised plan sheets, and any necessary revisions to the report must be provided.

REVISIONS		REMARKS
NO.	DATE	ADD SEQUENCE OF CONST. FOR STORMWATER OUTFALL PIPES
1	5-15-2023	
1	4-05-2024	UPDATE LOD

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR CHECKED BY A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND

REGISTERED PROFESSIONAL ENGINEER
EXPIRATION DATE: SEPT. 11, 2024

ARCHITECTURE
ENGINEERING
INCORPORATED

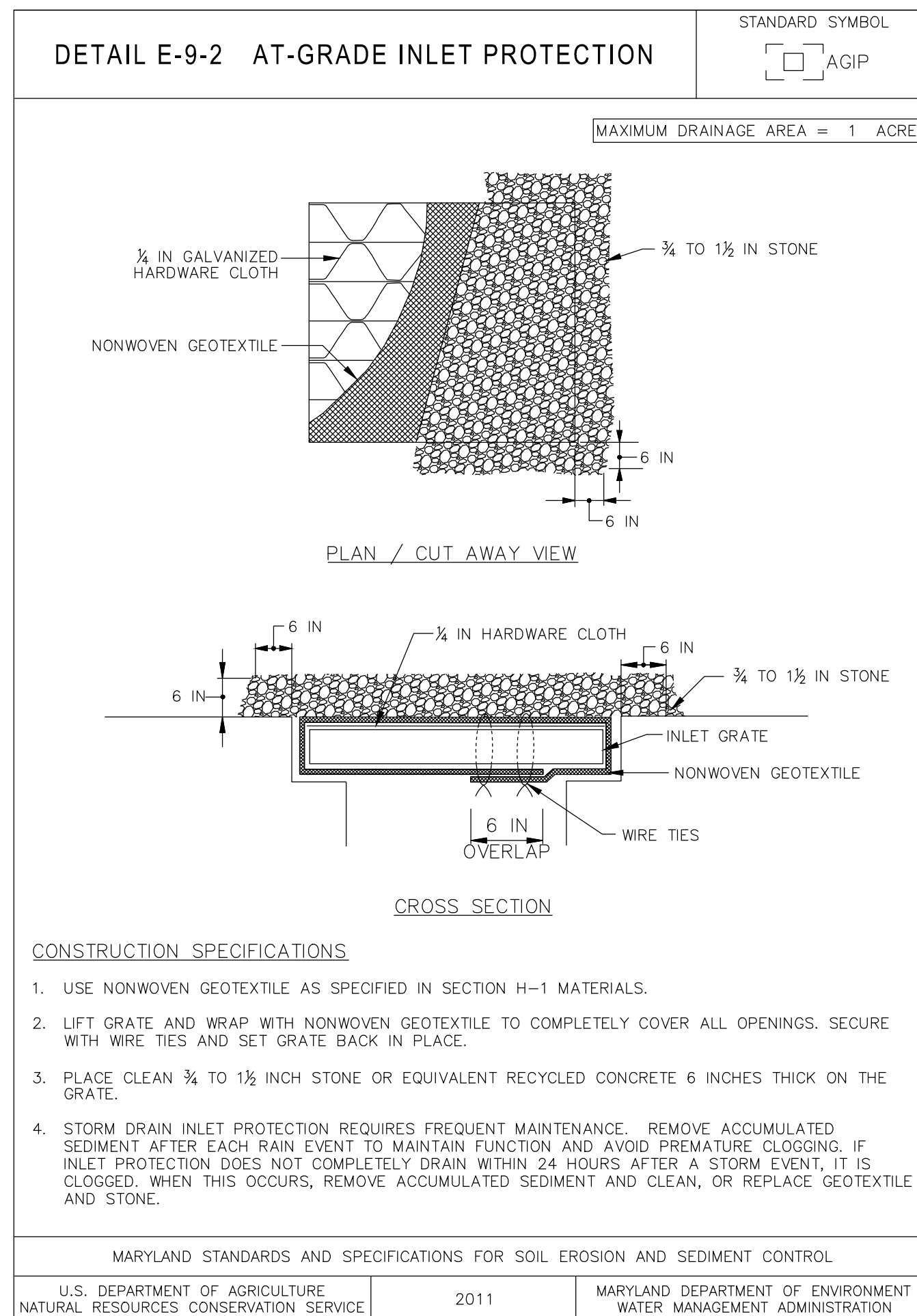
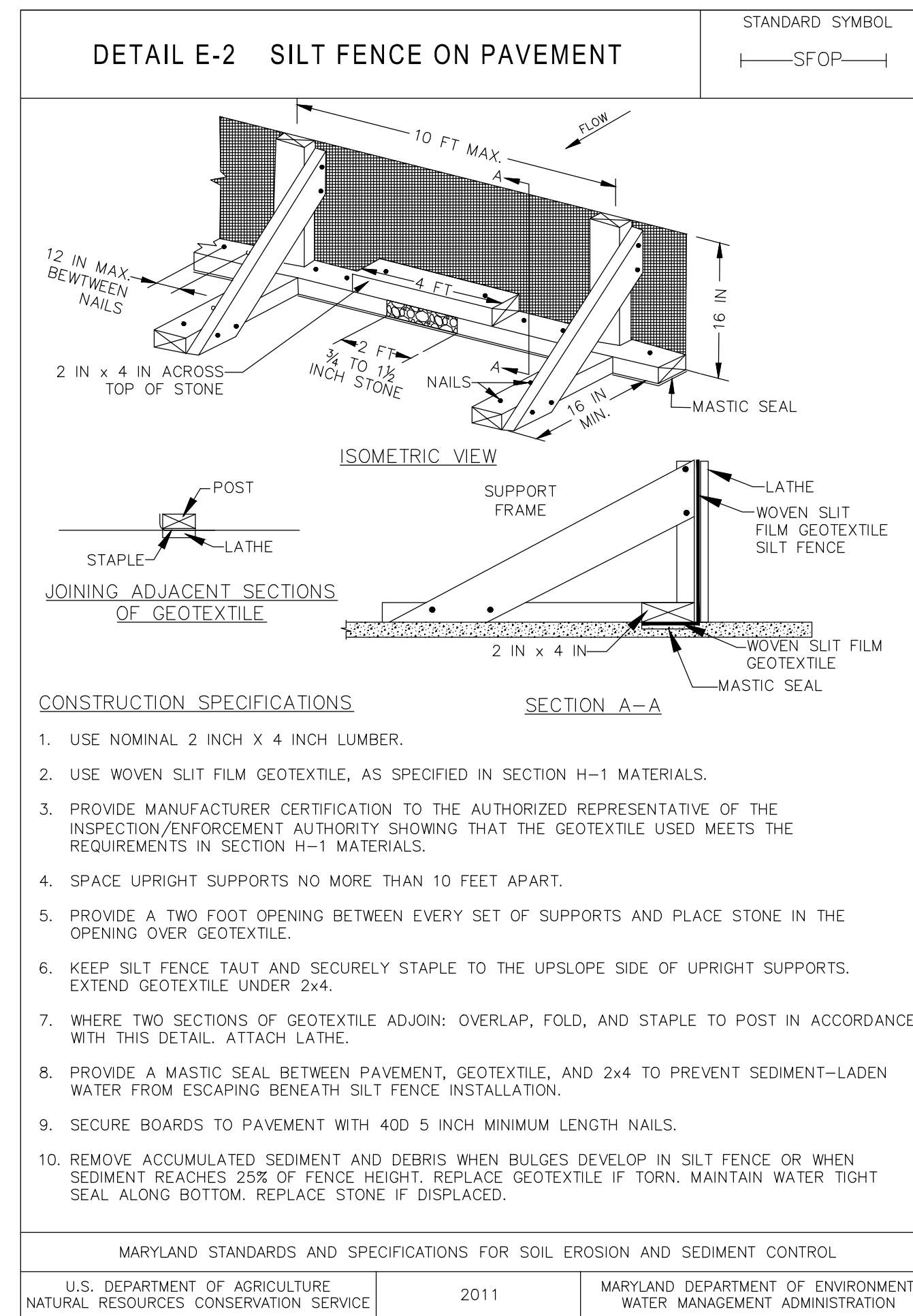
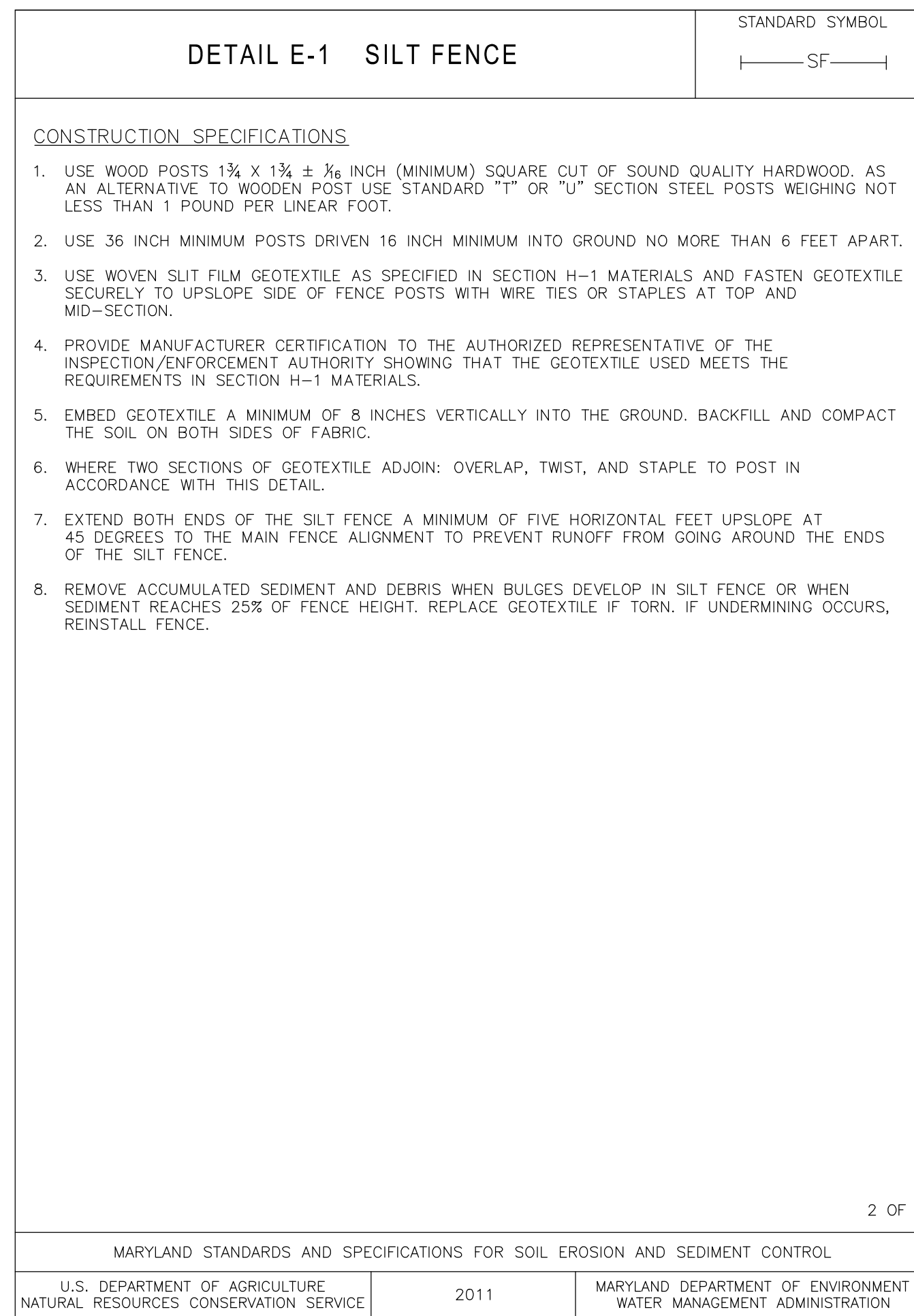
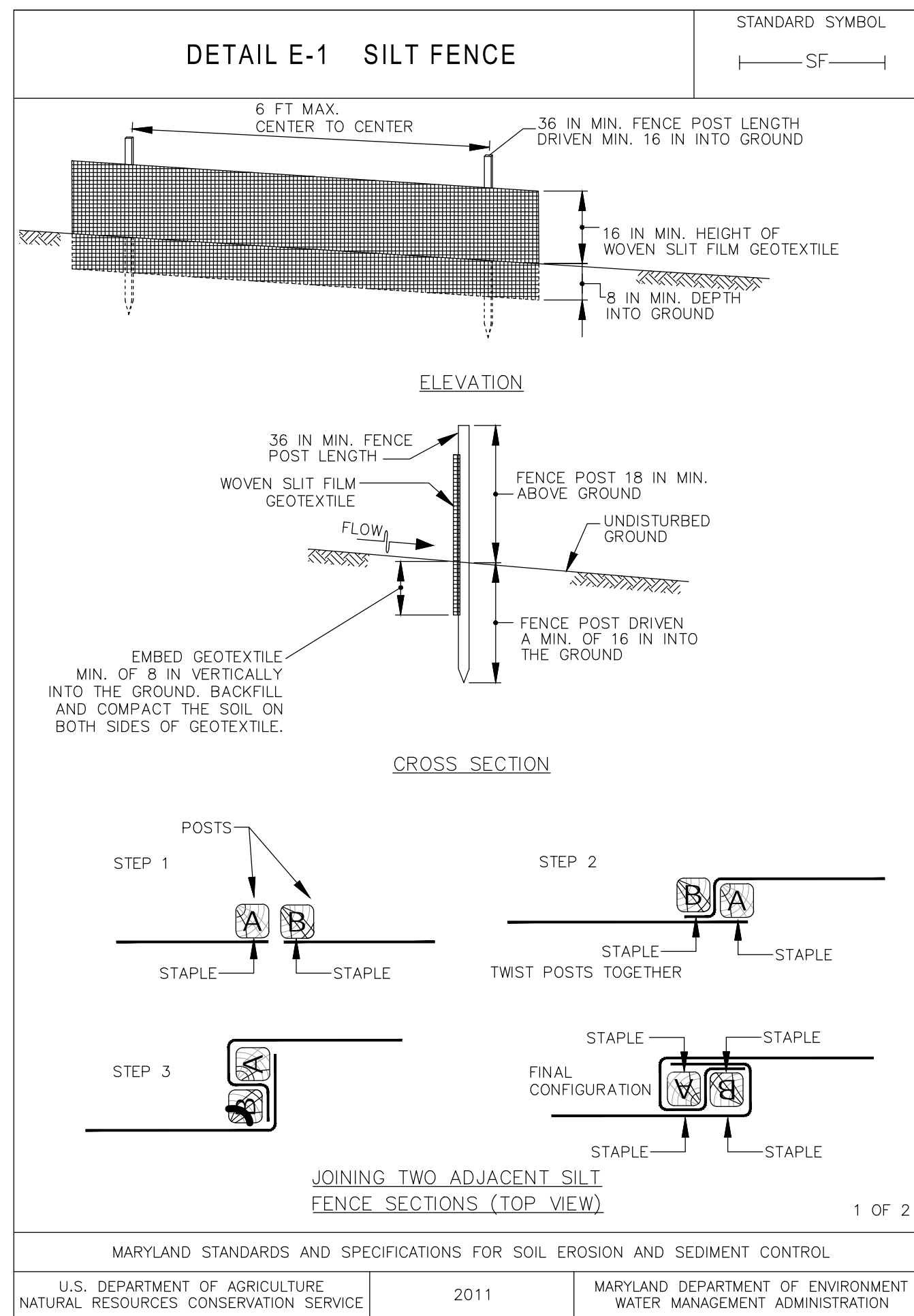
IOTT

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(410) 749-7229 • FAX (410) 749-0001

YOUR BEACH
BAY FRONT EVENT VENUE
SECRETS, USA
5003 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
SEDIMENT AND EROSION CONTROL PLAN

DATE: JANUARY 18, 2024
IOTT PROJ. NO.: 20-062
DESIGN BY: KI
DRAWN BY: KI
SCALE: 1"=15'-0"
STAGE: APPROVAL
DWG. FILE:

C 410



SEDIMENT AND EROSION CONTROL NOTES

- Prior to the start of any work, the contractor is to obtain County approval of any proposed plan changes and sequence of construction, specifically relating to installation, inspection, maintenance and removal of erosion and sediment control measures.
- Sediment control measures are not to be removed until the areas served have established vegetative cover, or with the permission of the MDE Inspector.
- When pumping sediment laden water, the discharge must be directed to an approved sediment trapping measure prior to release from the site.
- All temporary stockpiles are to be located within areas protected by sediment control measures, and are to be temporarily stabilized.
- All sediment control dikes, swales, basins and flow lines to basins will be temporarily seeded immediately upon installation to reduce the contribution of sediment loading.
- Disposal of excess earth materials on State or Federal property requires MDE approval, otherwise materials are to be disposed of at a location approved by the local authority.
- Temporary soil erosion control and sediment control measures are to be provided as per the approved plan prior to grading operations. Location adjustments are to be made in the field as necessary. The minimum area practical shall be disturbed for the minimum possible time.
- If grading is completed out of a seeding season, graded areas are to be temporarily stabilized by mulch and mulch anchoring. Mulch material shall be unweathered, unchopped small grain straw spread at a rate of 1 1/2 to 2 tons per acre. Mulch anchoring to be accomplished by an approved method, use of mulch anchoring tool is recommended where possible.
- Implementation of the sediment control plan shall be in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" of the Department.
- The contractor is responsible for implementation and maintenance of the approved plan, and all other measures necessary to control, filter, or prevent sediment from leaving the site.
- In cases where stormwater management structures are a part of site development, removal of sediment control structures may not be accomplished before the contributing drainage area to the stormwater management structure is stabilized and proper dewatering of the sediment from the site is complete.
- On sites where infiltration techniques are utilized for the control of stormwater, extreme care must be taken to prevent all runoff from entering the structure during construction.
- Sediment control for utility construction in areas outside of designed controls:
 - Excavated trench material shall be placed on the high side of the trench.
 - Immediately following pipe installation the trench shall be backfilled, compacted and stabilized at the end of each working day.
 - Temporary silt fence or straw bale dikes shall be placed immediately downstream of any disturbed area intended to remain disturbed longer than one working day.
- All points of construction ingress and egress shall be protected to prevent tracking of mud onto public ways.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization must be completed within:
 - Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1); and
 - Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.
 The requirements of Section B-4-3 (Seeding and Mulching) do not apply to those areas which are shown on the plan and are currently being used for material storage or for those areas on which actual construction activities are currently being performed or to interior areas of a surface mine site where the stabilization material would contaminate the recoverable resource. Maintenance shall be performed as necessary to ensure that the stabilized areas continuously meet the appropriate requirements of the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control".
- Stabilization of all disturbed areas are to meet the requirements of the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control - section- B-4-3 Seeding and Mulching".

TEMPORARY SEEDING SUMMARY

SEED MIXTURE (HARDINESS ZONE 7B) From Table B.1						
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	Fertilizer Rate (10-20-20)	Lime Rate
1	Annual Ryegrass	40 lb / ac (1.0 lb / 1000 sq ft)	2/15 to 4/30 8/15 to 11/30	1/2"	436 lb / ac (10.9 lb / 1000 sq ft)	2 tons / ac (50 lb / 1000 sq ft)

PERMANENT SEEDING SUMMARY

SEED MIXTURE (HARDINESS ZONE 7B) From Table B.3								
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	Fertilizer Rate (10-20-20)			Lime Rate
					N	P ₂ O ₅	K ₂ O	
1	Tall Fescue	60	3/01 to 5/15 8/15 to 11/15	1/4" to 1/2"	45 lb / ac (1.0 lb / 1000 sq ft)	90 lb / ac (2.2 lb / 1000 sq ft)	90 lb / ac (2.2 lb / 1000 sq ft)	2 tons / ac (50 lb / 1000 sq ft)
	Kentucky Bluegrass	40						
	Perennial Ryegrass	20						
2	Creeping Red Fescue	60	3/01 to 5/15 8/15 to 11/15	1/4" to 1/2"	45 lb / ac (1.0 lb / 1000 sq ft)	90 lb / ac (2.2 lb / 1000 sq ft)	90 lb / ac (2.2 lb / 1000 sq ft)	2 tons / ac (50 lb / 1000 sq ft)
	Kentucky Bluegrass	15						
	Perennial Ryegrass	20						
3	Hard Fescue	40	3/01 to 5/15 8/15 to 11/15	1/4" to 1/2"	45 lb / ac (1.0 lb / 1000 sq ft)	90 lb / ac (2.2 lb / 1000 sq ft)	90 lb / ac (2.2 lb / 1000 sq ft)	2 tons / ac (50 lb / 1000 sq ft)
	Kentucky Bluegrass	40						
	Perennial Ryegrass	20						

* The fertilizer and lime rates listed above are meant for a one time application, at the time of seeding.

- The inspection agency shall be notified upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made, and approval shall be requested upon final stabilization.

REVISIONS

NO.	DATE	REMARKS

CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR REVIEWED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND

ARCHITECTURE ENGINEERING INCORPORATED

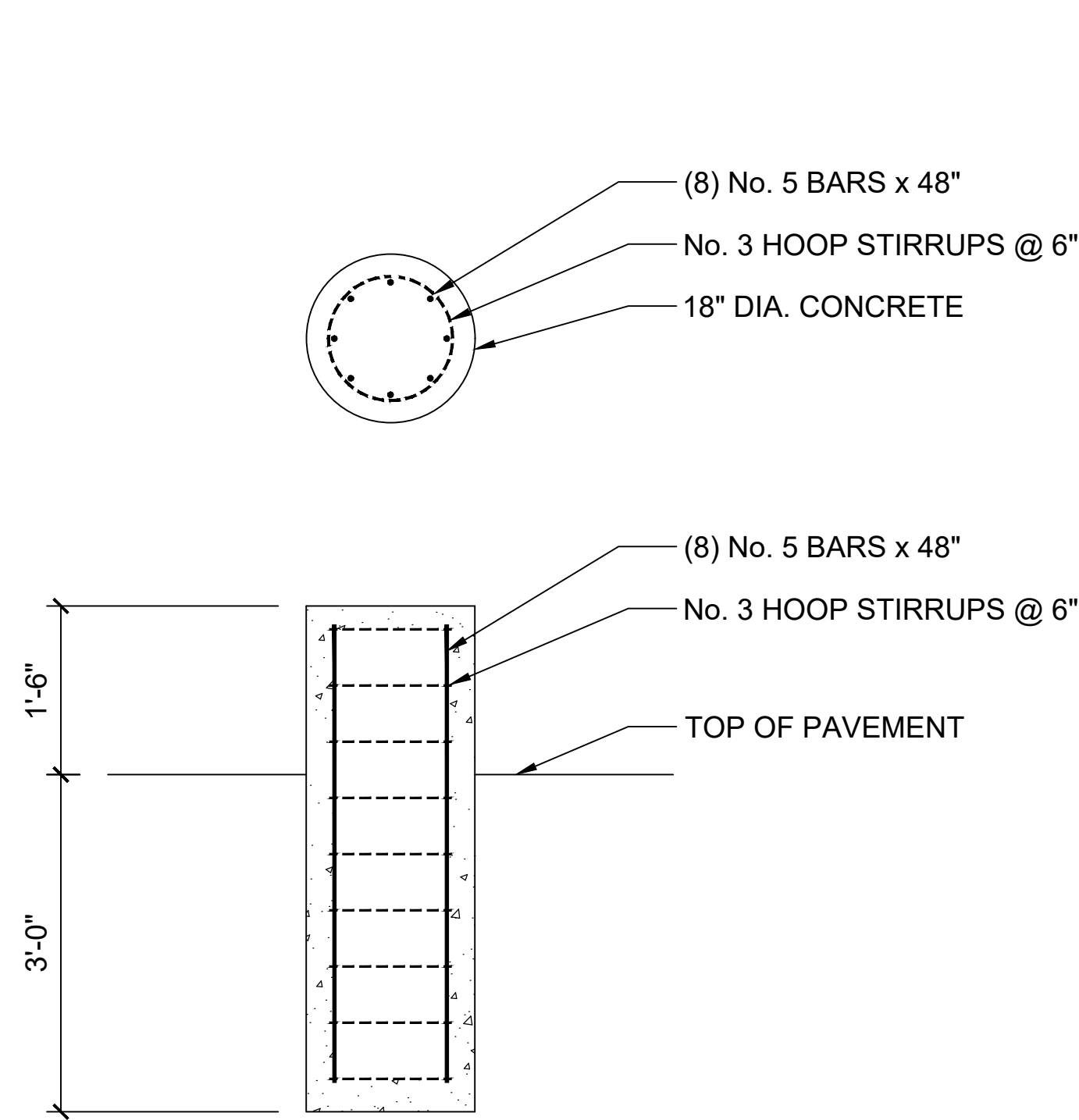
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YOUR BEACH BAY FRONT EVENT VENUE SEACRETS, USA 5003 COASTAL HIGHWAY OCEAN CITY, MARYLAND

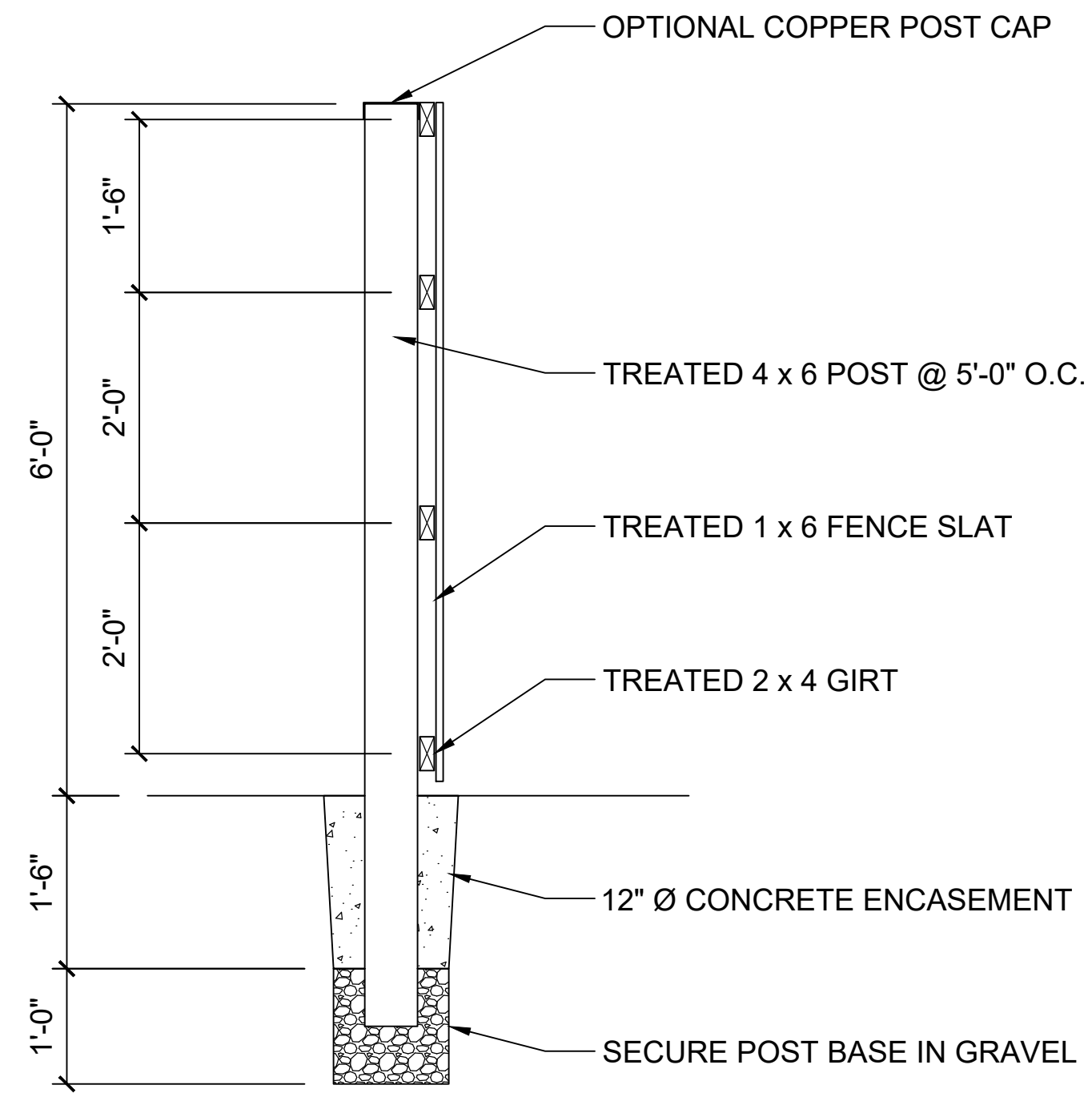
DATE: JANUARY 18, 2024
IOTT PROJ. NO.: 20-062
DESIGN BY: KI
DRAWN BY: KI
SCALE: AS NOTED
STAGE: APPROVAL
DWG. FILE:

C 411

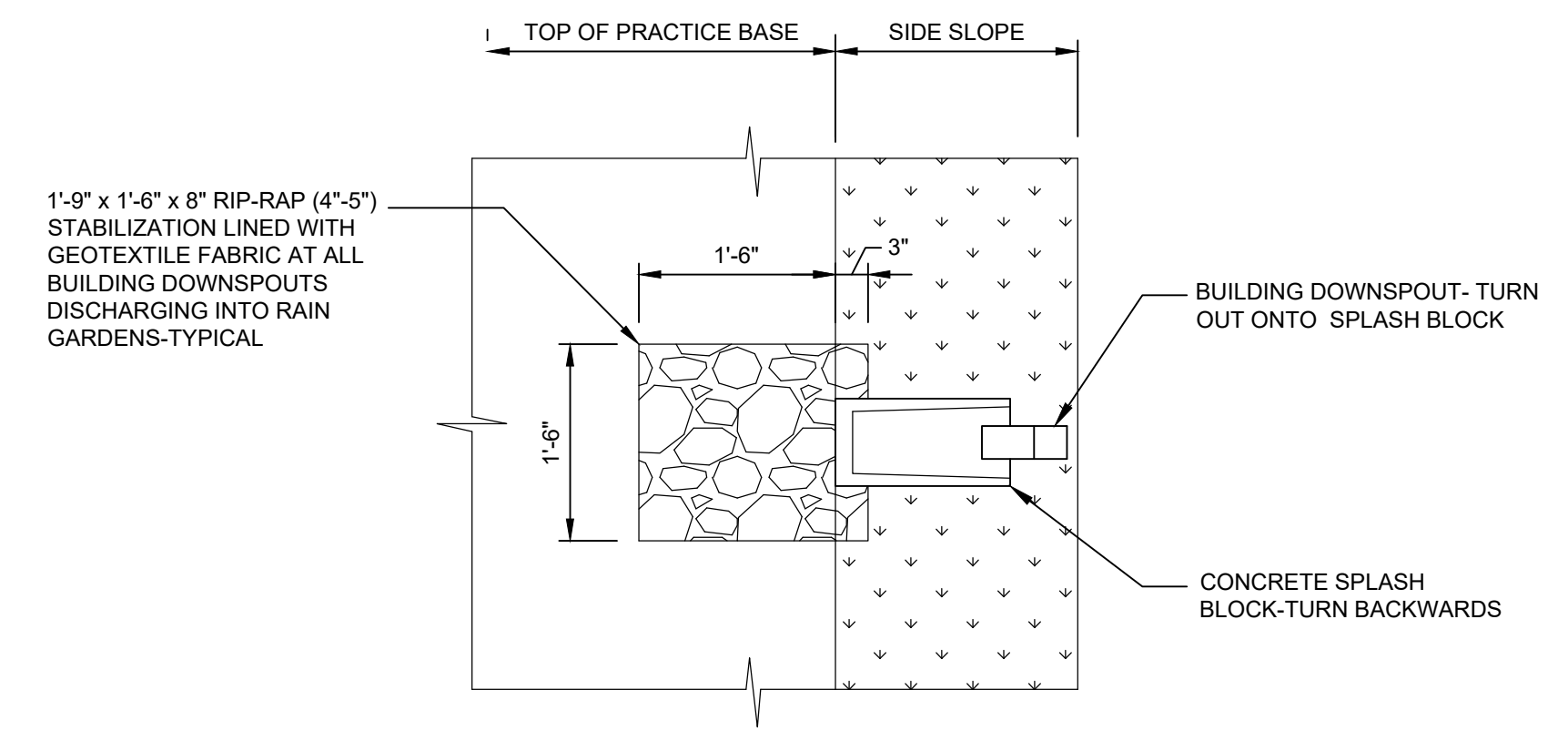
SEDIMENT AND EROSION CONTROL DETAILS



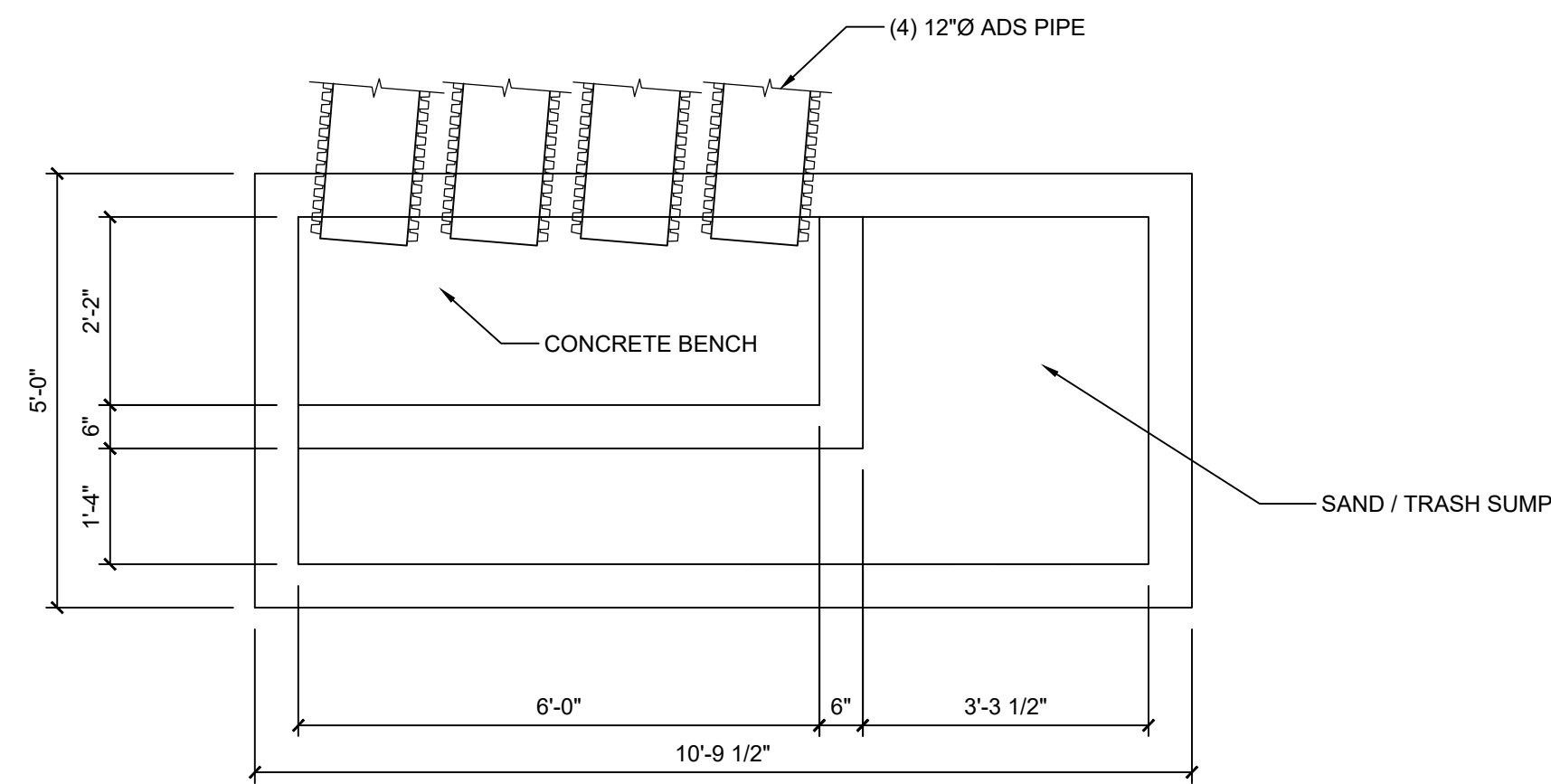
PARKING LOT LIGHT BASE
 SCALE: 1/2" = 1'-0"



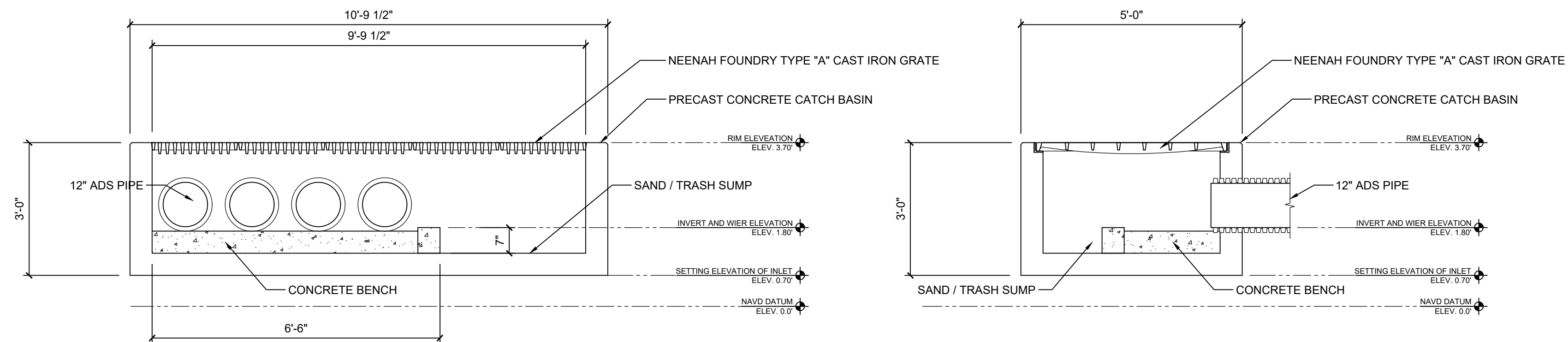
PARKING LOT FENCE DETAIL
 SCALE: 1/2" = 1'-0"



RAIN LEADER PROTECTION AT M-7 RAIN GARDEN
 SCALE: 3/4" = 1'-0"



PLAN OF STORMDRAIN INLETS
 SCALE: 1/2" = 1'-0"



SECTION THRU STORMDRAIN INLETS
 SCALE: 1/2" = 1'-0"

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR ENGINEERED UNDER THE CLOSE PERSONAL SUPERVISION AND CONTROL OF ME, A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

DATE: 11-15-2023
 EXPIRATION DATE: SEPT. 11, 2024

IOETT
 ARCHITECTURE
 ENGINEERING
 INCORPORATED

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 (410) 749-7229 • FAX (410) 749-0001

YOUR BEACH
 BAY FRONT EVENT VENUE
 SEACRETS, USA
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 OCEAN CITY, MARYLAND

SITE DETAILS

DATE: JANUARY 18, 2024
 IOTT PROJ. NO.: 20-062
 DESIGN BY: KI
 DRAWN BY: KI
 SCALE: 1" = 10'-0"
 STAGE: APPROVAL
 DWG. FILE: 20-062-C510

C
510

ESD CRITERIA

CONSTRUCTION

- THE DEVELOPER SHALL NOTIFY THE TOWN OF OCEAN CITY AT LEAST 48 HOURS BEFORE COMMENCING ANY WORK IN CONJUNCTION WITH THE STORMWATER MANAGEMENT PLAN AND UPON COMPLETION OF THE PROJECT WHEN A FINAL INSPECTION WILL BE CONDUCTED.
- INSPECTIONS SHALL BE CONDUCTED BY THE TOWN OF OCEAN CITY, ITS AUTHORIZED REPRESENTATIVE, OR CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE. WRITTEN INSPECTION REPORTS SHALL BE MADE OF THE PERIODIC INSPECTIONS NECESSARY DURING CONSTRUCTION OF STORMWATER MANAGEMENT SYSTEMS TO ENSURE COMPLIANCE WITH THE APPROVED PLANS. THE INSPECTIONS SHOULD BE CONDUCTED AT THE FOLLOWING STAGES:
 - PRE CONSTRUCTION MEETING/INITIAL INSPECTION
 - EXCAVATION TO SUB-GRADE
 - PLACEMENT OF FILTER FABRIC AND FILTER MEDIA
 - UPON COMPLETION OF PAVEMENT PLACEMENT
 - UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT COVER
- WRITTEN INSPECTION REPORTS SHALL INCLUDE:
 - THE DATE AND LOCATION OF THE INSPECTION;
 - WHETHER CONSTRUCTION WAS IN COMPLIANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN;
 - ANY VARIATIONS FROM THE APPROVED CONSTRUCTION SPECIFICATIONS; AND
 - ANY VIOLATIONS THAT EXIST
- FOLLOW MANUFACTURERS SPECIFICATIONS FOR PERVIOUS PAVEMENT INSTALLATION, SKILLED LABOR REQUIRED.
- REFER TO TOWN OF OCEAN CITY'S SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND RESTRICTIONS
- PLACEMENT OF PAVEMENT CANNOT BE DONE UNTIL ENTIRE DRAINAGE AREA IS STABILIZED TO PREVENT CLOGGING OF PERVIOUS PAVEMENT SYSTEM AND DIVERT SEDIMENT FROM ENTERING THE BASE AND PAVEMENT SURFACE DURING CONSTRUCTION
- CLEARLY MARK PLANNED AREA FOR PERVIOUS PAVEMENT AREA TO KEEP HEAVY EQUIPMENT FROM COMPACTING UNDERLYING SOIL. COMPACTION IS NECESSARY TO ATTAIN SUFFICIENT STRUCTURAL SUPPORT TO MINIMIZE RUTTING FROM VEHICULAR TRAFFIC. THE SUBGRADE SHOULD BE COMPACTED TO AT LEAST 85% OF STANDARD PROCTOR DENSITY FOR PEDESTRIAN AREAS AND TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY FOR VEHICULAR APPLICATIONS.
- GEO-TEXTILE FABRIC IS USED TO COMPLETELY WRAP THE BASE MATERIAL. FOR VEHICULAR TRAFFIC, HIGH QUALITY FABRIC SHOULD BE SPECIFIED THAT RESISTS PUNCTURING BY COARSE AGGREGATE.
- ALL PERVIOUS PAVING SHOULD HAVE AN OBSERVATION WELL LOCATED FOR INSPECTION OF WATER LEVELS IN PAVING.
- OPEN-GRADED AGGREGATE BASE NO. 57 BASE MATERIALS SHOULD BE SPREAD IN DESIGN DEPTH AND COMPACTED WITH A STATIC ROLLER. AT LEAST 4 PASSES SHOULD BE MADE WITH A MINIMUM 10-TON STEEL DRUM ROLLER. COVER TOP WITH FILTER CLOTH.
- OPEN-GRADED AGGREGATE BEDDING NO. 8 CRUSHED STONE OR SAND TO THREE INCHES SHOULD BE USED AND COMPACTED THE SAME AS THE 57 WITH 4 PASSES OF 10 TON STEEL DRUM ROLLER.
- PERVIOUS PAVEMENT SYSTEM SHOULD BE PLACED IMMEDIATELY AFTER COMPACTION. THIS REDUCES THE CHANCE OF CONSTRUCTION EQUIPMENT CONTAMINATING THE BASE MATERIAL WITH SEDIMENT.
- EDGE RESTRAINTS ARE RECOMMENDED AND SHOULD BE AT LEAST 6" WIDE AND 12" DEEP.
- AT FINAL INSPECTION, THE STORMWATER MANAGEMENT SHOULD BE INCLUDED IN THE CONSTRUCTION AFFIDAVIT

MAINTENANCE SCHEDULE

- MODULAR PAVEMENTS SHOULD BE INSPECTED SEVERAL TIMES IN THE FIRST FEW MONTHS AFTER CONSTRUCTION TO ASSURE THAT THEY ARE WORKING CORRECTLY AND WERE INSTALLED PROPERLY. INSPECTION SHOULD BE CONDUCTED AFTER STORMS TO CHECK FOR LONG DURATION SURFACE PONDING THAT MAY INDICATE LOCAL OR WIDESPREAD CLOGGING.
- MAINTENANCE RESPONSIBILITY FOR BMP SHALL BE VESTED WITH THE RESPONSIBLE PARTY BY MEANS OF A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT
- THE OWNER OF THE PROPERTY SHALL MAINTAIN IN GOOD CONDITION AND PROMPTLY REPAIR AND RESTORE ALL GRADE SURFACES, WALLS, DRAINS DAMS AND STRUCTURES, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE DEVICES.
- ANNUAL INSPECTION REQUIRED WITH WRITTEN INSPECTION REPORT

MAINTENANCE CRITERIA

- GOOD HOUSEKEEPING PRACTICES BY THE USERS TO MINIMIZE THE PRODUCTION OF AND TRANSPORT OF PARTICULATES ONTO THE PERVIOUS PAVEMENT
- PERVIOUS PAVING MAINTENANCE CHECK LIST
 - INSPECT AFTER AT LEAST ONE MAJOR STORM PER YEAR
 - MAINTAIN VEGETATION AROUND PAVEMENT TO FILTER RUNOFF
 - NO STANDING WATER ON THE SURFACE AFTER STORMS
 - REPAIR RUTS OR DEFORMATIONS IN PAVEMENT EXCEEDING 1/2in OR 13mm
 - REPLACE JOINT AGGREGATE, JOINT MATERIALS AS NEEDED
 - CHECK OBSERVATION WELL TO SEE IF WATER IS PRESENT
 - CHECK OUTFLOW FROM OBSERVATION WELL ANNUALLY
- REPLACEMENT OF BASE AND UNDERLYING MATERIALS IF THEY BECOME CLOGGED AND WATER PONDING PERSISTS

ALL EXISTING ASPHALT AND COMPACTED SUB-BASE MUST BE DEMOLISHED AND REMOVED FROM THE SITE PRIOR TO ANY NEW FILLING OF THE PROPOSED SITE AT ALL PROPOSED ALTERNATIVE SURFACE OR MICRO-SCALE PRACTICE LOCATIONS.

ALL FILL TO BE SAND, SANDY LOAM SOIL WITH NO CLAY CONTENT FOR INFILTRATION TRENCH AND VEGETATION PURPOSES

PROVIDE POSITIVE DRAINAGE TO A PUBLIC RIGHT-OF-WAY, TO THE WATERS OF THE STATE OF MARYLAND OR TO ADJOINING CRITICAL AREAS. SUBJECT TO APPLICABLE REGULATIONS. DISCHARGE ONTO, OR DRAINAGE ACROSS ADJOINING PRIVATE PROPERTIES IS PROHIBITED.

CONTRACTOR'S RESPONSIBILITY FOR AS-BUILTS

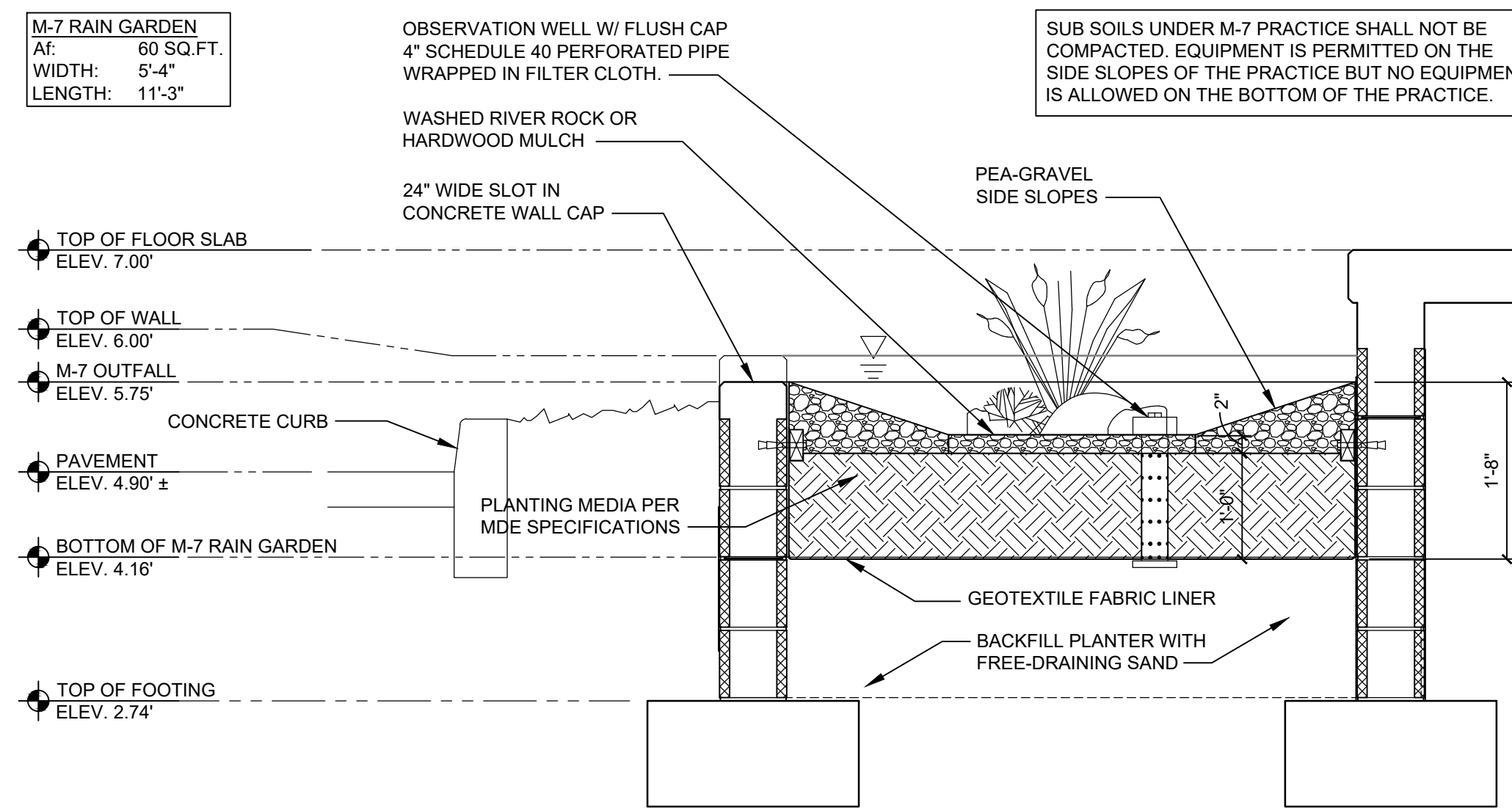
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A STORMWATER MANAGEMENT PLAN FINAL AS-BUILT PLAN. THE AS-BUILT PLAN SHALL SHOW POST-CONSTRUCTION IMPERVIOUS AREAS THAT MATCH THE APPROVED STORMWATER MANAGEMENT PLANS. IF THE AS-BUILT PLAN DOES NOT MATCH THE APPROVED PLANS THE CONTRACTOR SHALL CORRECT OR MODIFY GRADES, IMPERVIOUS AREAS OR DRAINAGE PATTERNS TO MATCH THE APPROVED PLANS. STORMWATER MANAGEMENT COMPUTATIONS SHALL BE SUBMITTED TO THE TOWN OF OCEAN CITY ENGINEERING FOR APPROVAL. THE CONTRACTOR OR THE OWNER SHALL HIRE AND PAY FOR AN ENGINEER OR A LICENSED SURVEY TO PROVIDE THE FOLLOWING:

- THE ELEVATION AT THE BOTTOM OF EACH INFILTRATION PRACTICE
- THE DEPTH OF ANY PRACTICE DEPENDENT MATERIALS INCLUDING STONE, PLANTING MEDIA AND SURFACE TREATMENTS
- THE FINAL GRADES OF SURFACES THAT DRAIN TO THE E.S.D. PRACTICES AS SHOWN ON THE APPROVED PLANS
- THE LOCATION OF ANY DOWNSPOUTS THAT DISCHARGE TO ANY E.S.D. PRACTICES.

THIS AS-BUILT PLAN MUST BE APPROVED BY THE TOWN OF OCEAN CITY ENGINEERING DEPARTMENT AND MUST BE REVIEWED AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

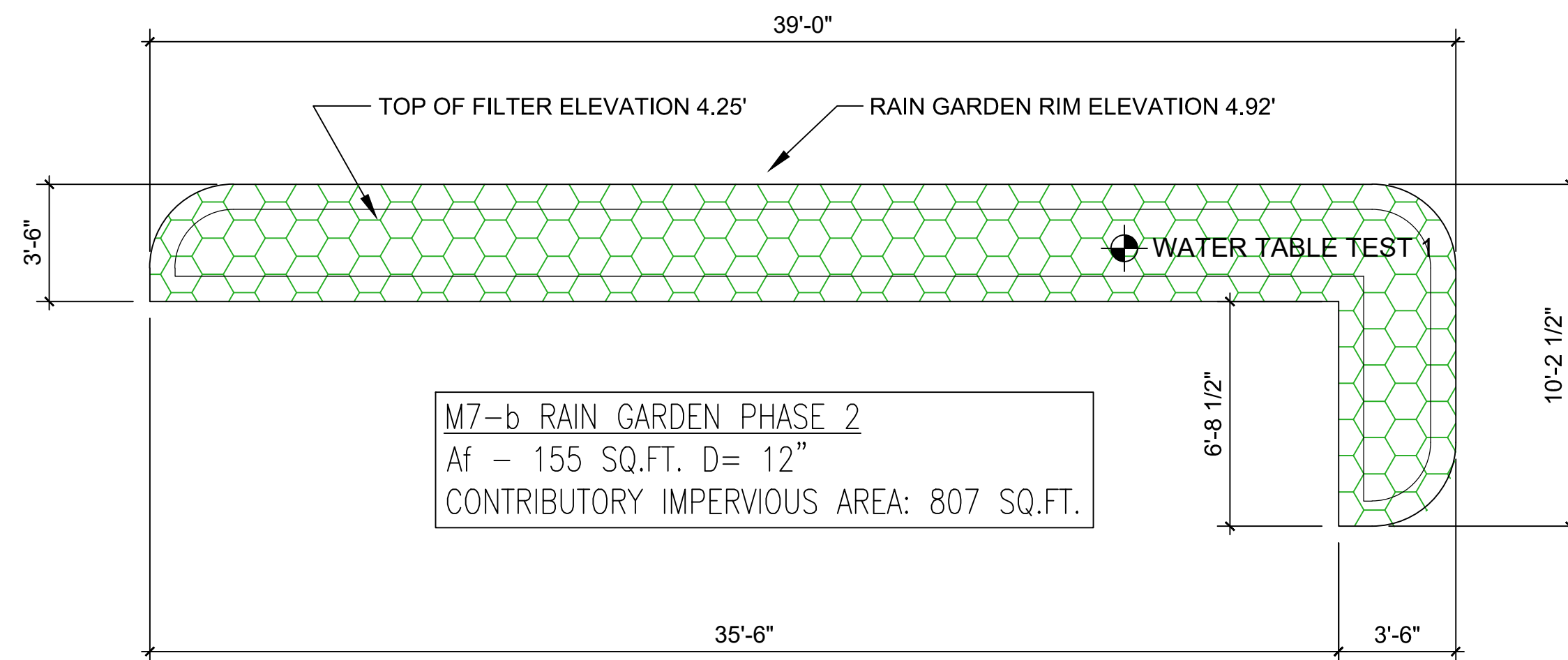
ESD SUMMARY (PHASE 1 plus PHASE 2)

Drainage Area	Type of ESD Practice	Name of ESD Practice (Structure Name)	On-Site or Off-Site Structure	Runoff Curve Number (RCN) Weighted	Maryland Grid Coordinate NAD 83 meters Northing	Maryland Grid Coordinate NAD 83 meters Easting	ESD Practice Total Drainage Area (Acres)	ESD Practice Impervious Drainage Area (Acres)	Surface Area of ESD Practice (Acres)	Target PE (in)	Actual PE (in)	Target ESDv (ft³)	Actual ESDv (ft³)	M6 PLANTINGS
DA-7a	M7	Rain Garden	On-Site	96	38°22'31"N	75°04'14"W	.0098	.0098	.0014	0.99	1.00		42.8	(2)BAYBERRY
DA-7b	M7	Rain Garden	On-Site	96	38°22'31.5"N	75°04'14.6"W	.0707	.0185	.0036	0.99	1.00		63.8	(2)ARROWWOOD (1)INKBERRY
DA-7c	M7	Rain Garden	On-Site	96	38°22'34"N	75°04'15"W	.0265	.0265	.0033	0.99	1.00		91.7	(2)BAYBERRY (2)INKBERRY
DA-7d	M7	Rain Garden	On-Site	96	38°22'32"N	75°04'15"W	.0066	.0463	.0014	0.99	1.00		22.9	(2)ARROWWOOD (1)INKBERRY
Total / Average							.1136	.1011	.0097	0.99	1.00	203.0	221.2	



SECTION THRU M-7a RAIN GARDEN

SCALE: 3/4" = 1'-0"



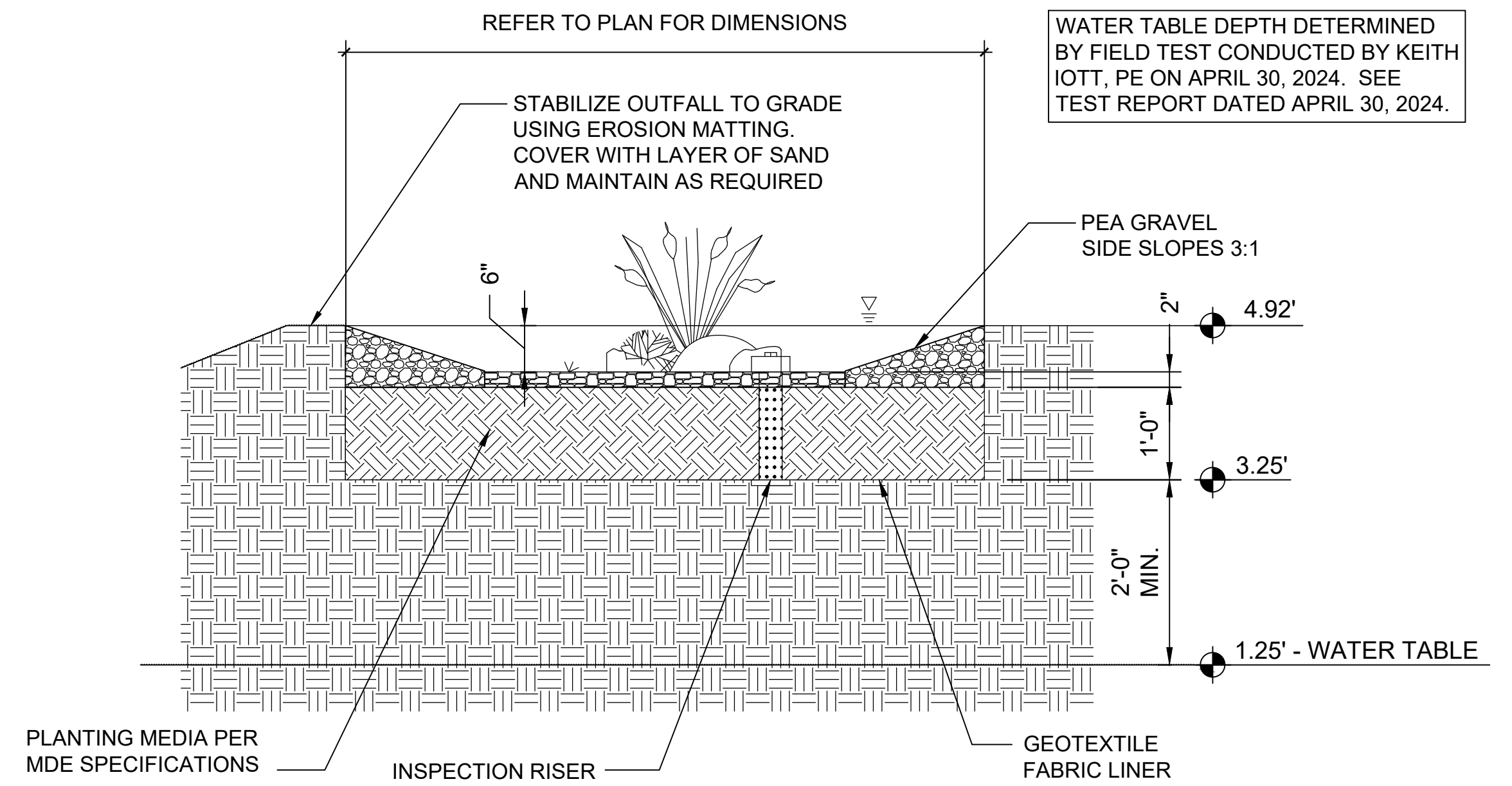
PLAN OF M-7b

SCALE: 1/4" = 1'-0"

ENGINEER OR PROFESSIONAL LAND SURVEYOR
STORMWATER AS-BUILT CERTIFICATION

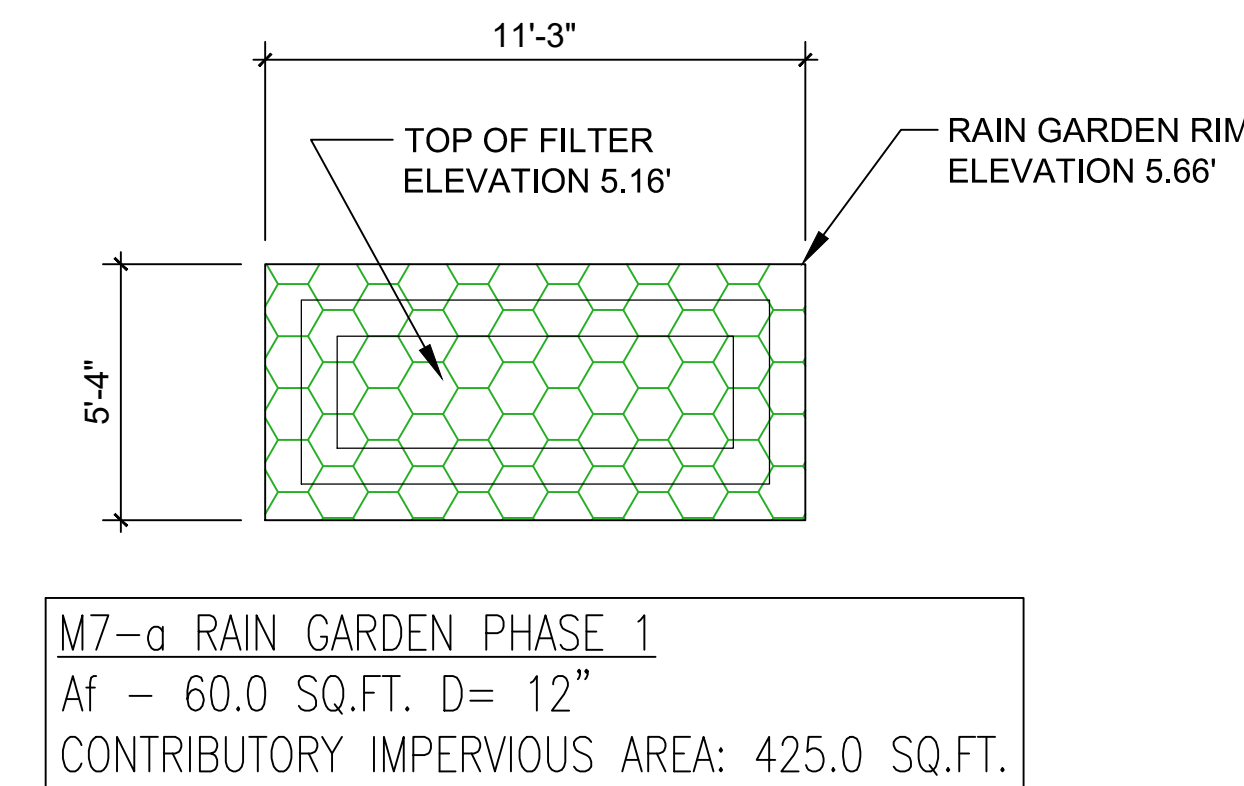
SIGNATURE _____ DATE _____

PRINT NAME _____ MARYLAND SEAL _____



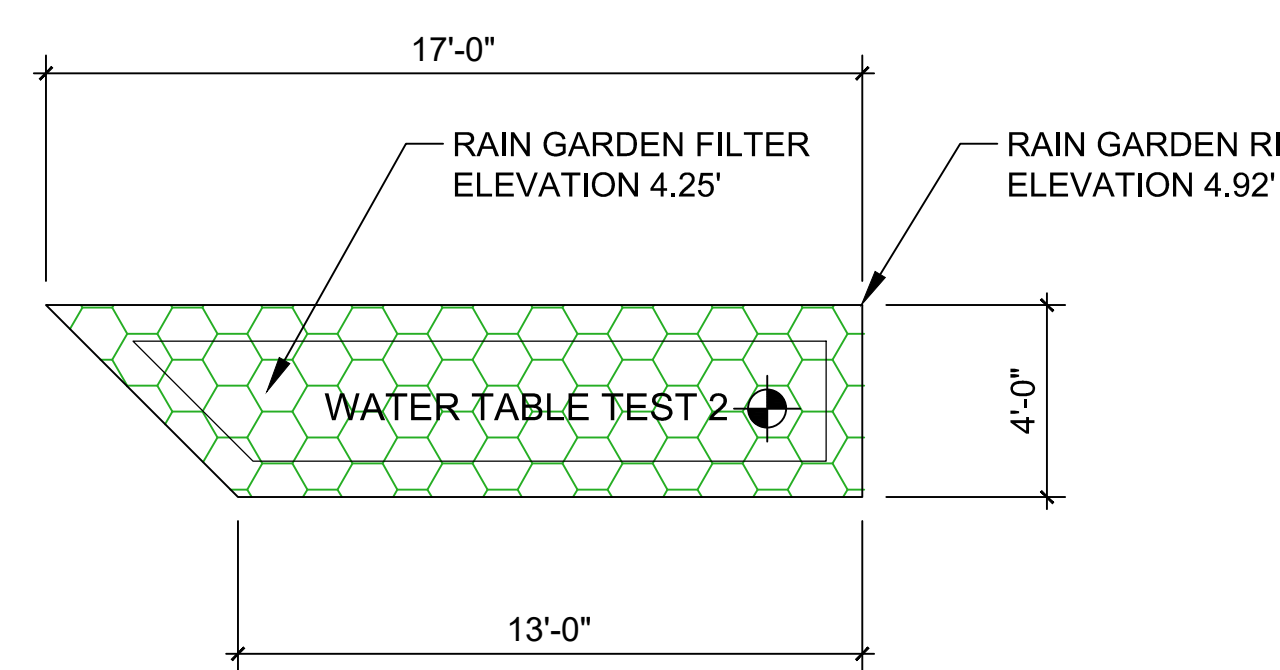
TYPICAL CROSS SECTION THRU M-7b, M7c and M-7d RAIN GARDEN

SCALE: 3/4" = 1'-0"



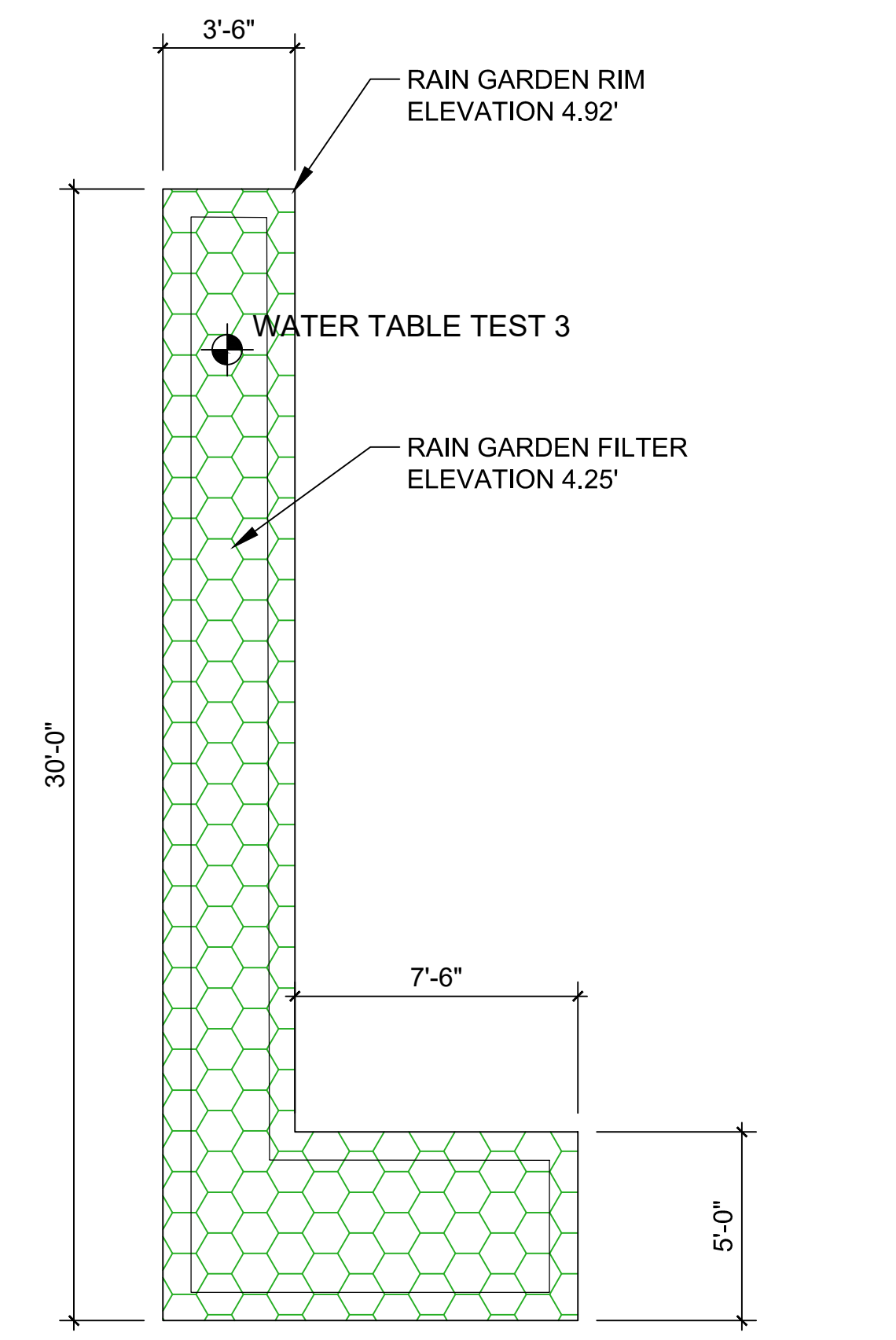
PLAN OF M-7a

SCALE: 1/4" = 1'-0"



PLAN OF M-7d

SCALE: 1/4" = 1'-0"



PLAN OF M-7c

SCALE: 1/4" = 1'-0"

APPLICANT EXHIBIT #9

REVISIONS

NO.	DATE	REMARKS
1	4-05-2024	INITIAL SHEET ISSUE
2	4-22-2024	REVISE M7-b and ADD WATER TABLE NOTE
3	4-30-2024	REVISE M7-b PER WATER TABLE TEST

STATE OF MARYLAND
IOTT ARCHITECTURE ENGINEERING INCORPORATED
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(410) 749-2229 • FAX (410) 749-0001

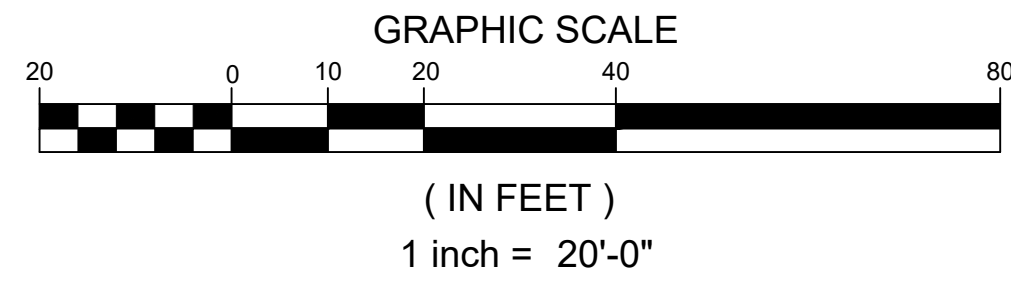
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INCORPORATED

YOUR BEACH
BAY FRONT EVENT VENUE
SEACRETS, USA
5003 COASTAL HIGHWAY
OCEAN CITY, MARYLAND

RAIN GARDEN AND SW DETAILS

DATE: JANUARY 18, 2024
IOTT PROJ. NO.: 20-062
DESIGN BY: KI
DRAWN BY: KI
SCALE: 1" = 10'-0"
STAGE: APPROVAL
DWG. FILE: 20-062-0510

C 511



NOTE:
PL-1 LIGHTS ARE POLE-MOUNTED w/ 5 HEADS @ 72" APART (FULL CIRCLE.) SEE PHOTO ABOVE.
PL-2 LIGHTS ARE POLE-MOUNTED w/ 3 HEADS @ 90° APART (FACING PARKING, 180° TOTAL).
BOTH USE LIGHTS SHOWN ON THIS DRAWING.



FFLEDS

RAB



Color: Bronze Weight: 5.1 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	26W
120V	0.25A	Color Temp	4000K/5000K
208V	0.14A	Color Accuracy	82-83 CRI
240V	0.13A	L70 Lifespan	100,000 Hours
277V	0.11A	Lumens	2615-6243 lm
Input Watts	18-46.4W	Efficacy	134.5-145.8 lm/W

Technical Specifications

Field Adjustability
Field Adjustable:
Field Adjustable Light Output:
39W/26W/18W (factory default 39W)
Color temperature (selectable by 4000K and 5000K)

Compliance
Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

IP Rating:
Ingress protection rating of IP66 for dust and water

IESNA LM-79 & LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:
This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC S:1 requirements.
DLC Product Code: P201EN30

LED Characteristics
LEDs:
Long-life, high-efficiency, discrete, surface-mount LEDs

Color Consistency:
7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:
LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:
RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2017.

Electrical
Driver:
18W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.15A, 208V: 0.09A, 240V: 0.08A, 277V: 0.07A
26W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.25A, 208V: 0.14A, 240V: 0.13A, 277V: 0.11A
39W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.38A, 208V: 0.22A, 240V: 0.19A, 277V: 0.17A

Dimming Driver:
Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:
1.93% at 120V, 10.57% at 277V

Power Factor:
99.92% at 120V, 90.54% at 277V

Surge Protection:
4kV

Need help? Tech help line: (888) 722-1000 Email: sales@rablighting.com Website: www.rablighting.com
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FFLEDS

RAB

Technical Specifications (continued)

Performance
Lifespan:
100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:
39W: 200W Metal Halide
26W: 150W Metal Halide
18W: 100W Metal Halide

Optical
NEMA Type:
NEMA Beam Spread of 7H x 6V

Construction
Cold Weather Starting:
The minimum starting temperature is -40°C (-40°F)

Ambient Temperature:
Suitable for use in up to 40°C (104°F)

Housing:
Die-cast aluminum

Mounting:
Robust knuckle mount with 180° adjustable swivel arm. Tilt angle in 10° increments.

Effective Projected Area:
EPA = 0.32

Lens:
Ultra clear, tempered glass

Reflector:
Vacuum metallized polycarbonate

Gaskets:
High-temperature silicone gaskets

Finish:
Formulated for high durability and long-lasting color

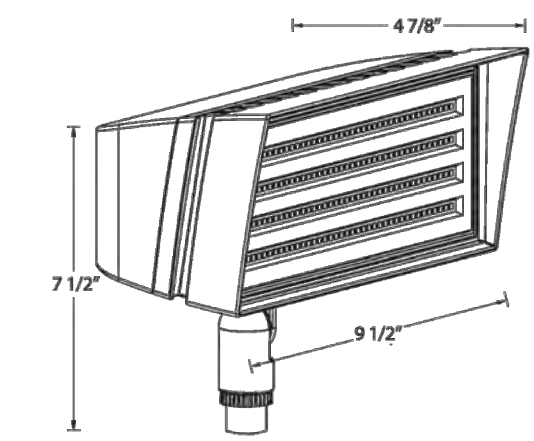
Green Technology:
Mercury and UV free. RoHS-compliant components.

Other
Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Trade Agreements Act Compliance:
This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act

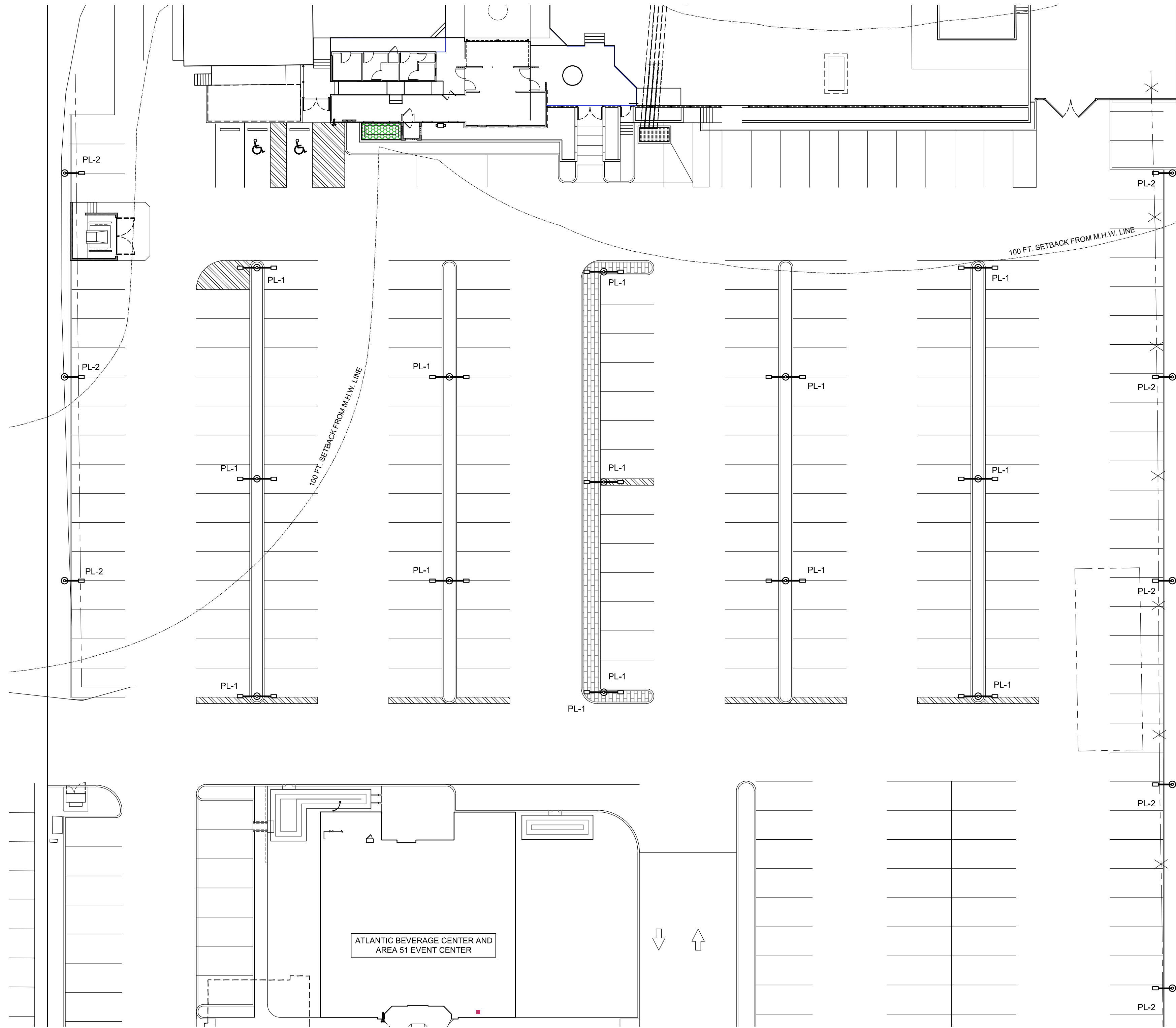
Buy American Act Compliance:
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions

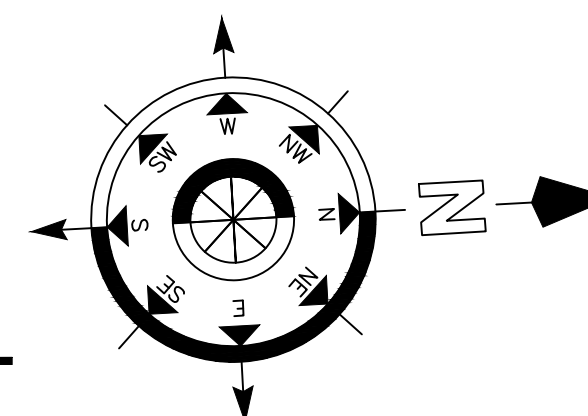


Features
Ultra-efficient LED and optical design
100,000-hour life based on LM-80 results and TM-21 calculations
DLC Premium Listed
10-Year, No-Compromise Warranty

Need help? Tech help line: (888) 722-1000 Email: sales@rablighting.com Website: www.rablighting.com
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PARKING LOT LIGHTING PLAN
SCALE: 1" = 20'



REVISIONS

NO.	DATE	REMARKS

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND
EXPIRES: 03/31/2024
EXPIRATION DATE: MARCH 31, 2024

ARCHITECTURE
ENGINEERING
INCORPORATED

IOTT

310 HAMMOND ST. • SUITE 100 • SALISBURY, MARYLAND
(410) 749-7229 • FAX (410) 749-0001

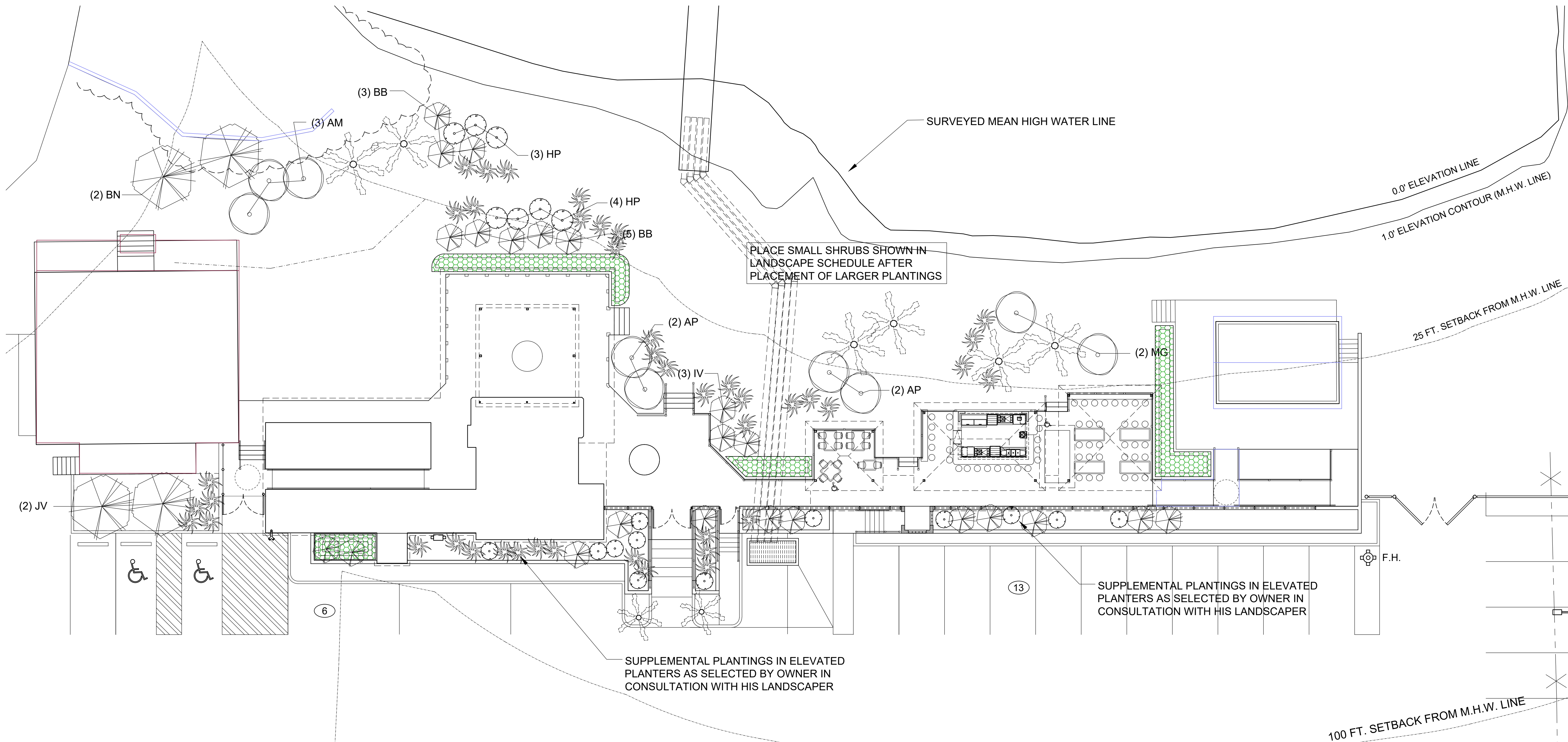
PHASE 2 - YOUR BEACH
BAY FRONT EVENT VENUE & DINING BEACH
SEACRETS, USA
5003 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
PARKING LOT LIGHTING PLAN

DATE: FEB. 12, 2024
IOTT PROJ. NO.: 20-062
DESIGN BY: KI
DRAWN BY: RE / M.S.
SCALE: 1" = 20'
STAGE: APPROVAL
DWG. FILE: 20-062 C611

C 611

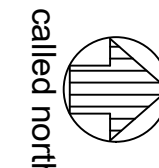
LANDSCAPE PLANTING SCHEDULE

Count within CA BUFFER	SYMBOL	COMMON	BOTANICAL	FORM	CAM-POINTS	SIZE	ROOT	HEIGHT	SPREAD	CAM POINTS
2	BN	RIVER BIRCH	Betula Nigra	Large Tree	200	2" Caliper	Ball & Burlap	40ft	25ft	400
2	MG	LITTLE GEM MAGNOLIA	Magnolia Grandiflora	Understory Tree	100	3/4" Caliper	Container	15ft	8-10ft	200
	AP	RED DRAGON JAPANESE MAPLE	Acer Palmatum	Understory Tree	100	3/4" Caliper	Container	6ft	6ft	0
8	BB	NORTHERN BAYBERRY	Myrica Pensylvanica	Large Shrub	75	3 Gallon	Container	5ft-10ft	5ft-10ft	600
3	IV	VIRGINIA SWEETSPIRE	Itea Virginica	Large Shrub	75	3 Gallon	Container	5ft-8ft	5ft-8ft	225
4	HP	LIMELIGHT HYDRANGEA	Hydrangea Paniculata	Large Shrub	75	3 Gallon	Container	5ft-6ft	5ft-10ft	300
10	HI	ST JOHN'S WORT - ALBURY PURPLE	Hypericum Inodorum	Small Shrub	50	1 Gallon	Container			500
10	CC	LEMON GRASS	Cymbopogon Citratus	Small Shrub	50	1 Gallon	Container			500
10	AK	AZALEA COASTAL DWARF	Rhododendren Atlanticum	Small Shrub	50	1 Gallon	Container			500
45										3225
TOTAL CRITICAL AREA MITIGATION POINTS										3225



LANDSCAPE PLAN
SCALE: 1" = 10'-0"

APPLICANT EXHIBIT #12



REVISIONS		REMARKS
NO.	DATE	
1	4-22-2024	REVISE LANDSCAPE PLAN

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND
 DATE: 04/22/2024
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PHASE 2 - YOUR BEACH
BAY FRONT EVENT VENUE & DINING BEACH
SEACRETS, USA
5003 COASTAL HIGHWAY
OCEAN CITY, MARYLAND

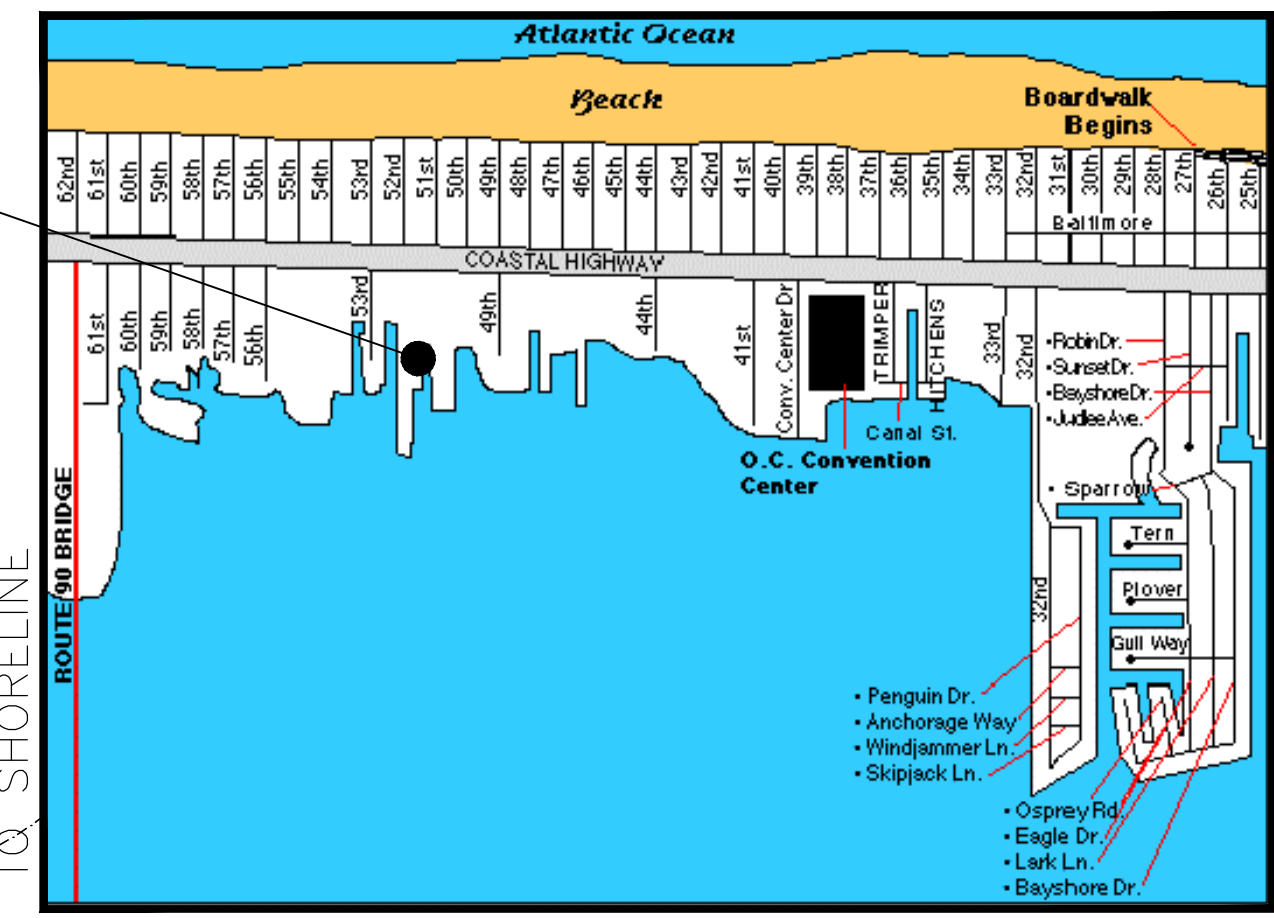
LANDSCAPE PLAN AND SCHEDULE

DATE: FEB. 12, 2024
 IOTT PROJ. NO.: 20-062
 DESIGN BY: KI
 DRAWN BY: KI
 SCALE: 1" = 10'-0"
 STAGE: APPROVAL
 DWG. FILE: 20-062-L111

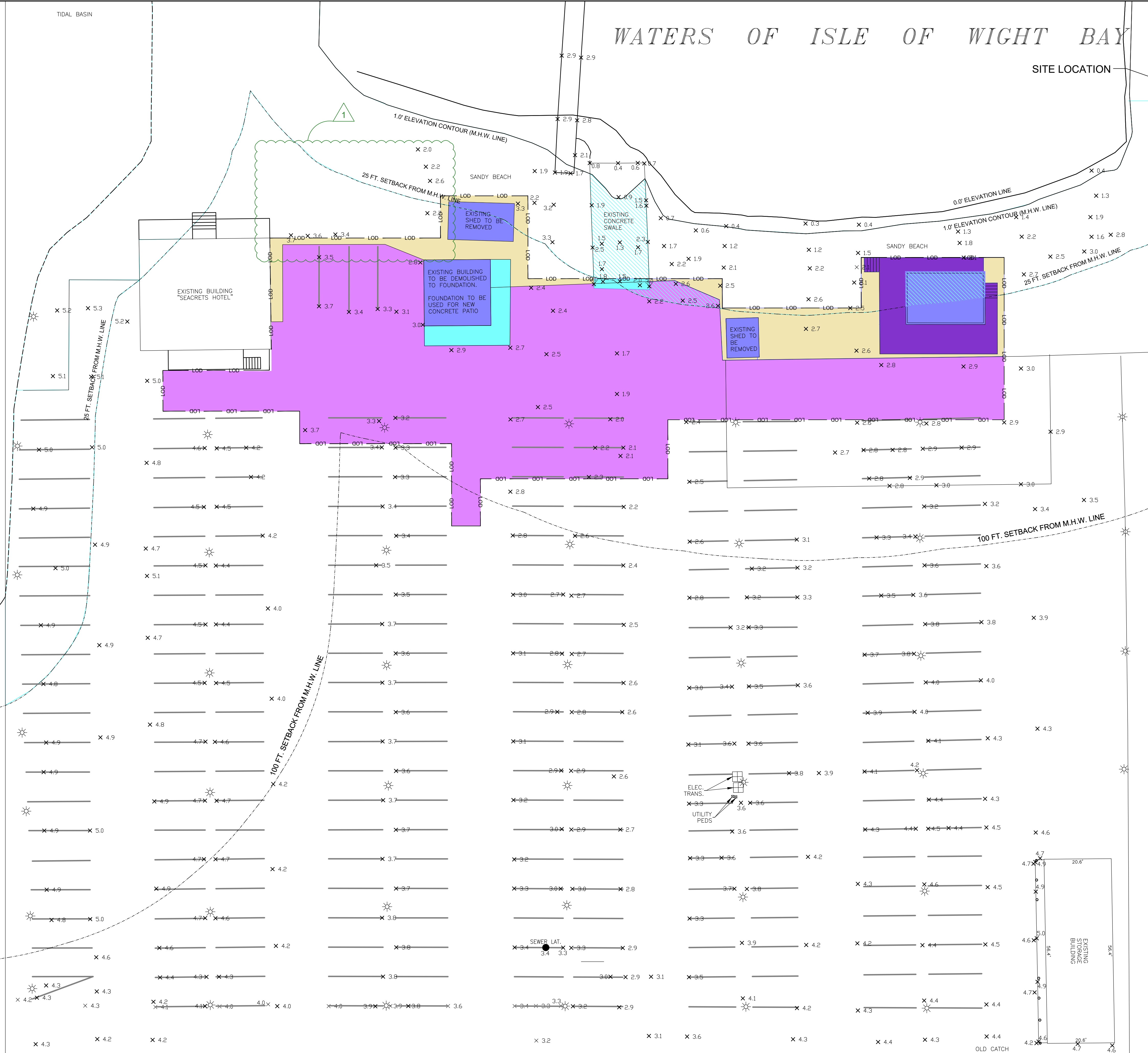
L
111

WATERS OF ISLE OF WIGHT BAY

SITE LOCATION



EXISTING AERIAL MAP
NO SCALE



EXISTING AREAS SUMMARY	
PROPOSED LIMITS OF DISTURBANCE = 12,960.1 ft ²	
BUILDING	1,158.3 ft ²
IMPERVIOUS DECKS & CONC. FLUME	336.4 ft ²
IMPERVIOUS PAVEMENT	9,062.2 ft ²
PERVIOUS DECKS	657.9 ft ²
PERVIOUS AREA (SAND)	1,745.5 ft ²
PLANTABLE AREA (WITH PLANTS)	0 ft ²
TOTAL IMPERVIOUS AREA = 10,556.7 ft ²	
PERCENT IMPERVIOUS AREA = 81.4%	
TOTAL PERVIOUS AREA = 2,403.4 ft ² = 18.5%	
TOTAL PLANTABLE AREA (WITH PLANTS) = 0 ft ² = 0%	
CRITICAL AREA SETBACK	
TOTAL SITE AREA WITHIN 25 FT. SETBACK =	20,619 ft ²
IMPERVIOUS AREA WITHIN 25 FT. SETBACK =	844.9 ft ²
PERCENTAGE OF IMPERVIOUS AREA WITHIN 25 FT. SETBACK :	17.0%

EXISTING AREA TAKEOFFS
SCALE: 1" = 15'

REVISIONS	
NO.	DATE
1	4-05-24

REMARKS
REVISE LOD - ADD PHASE 2 BLDGS.

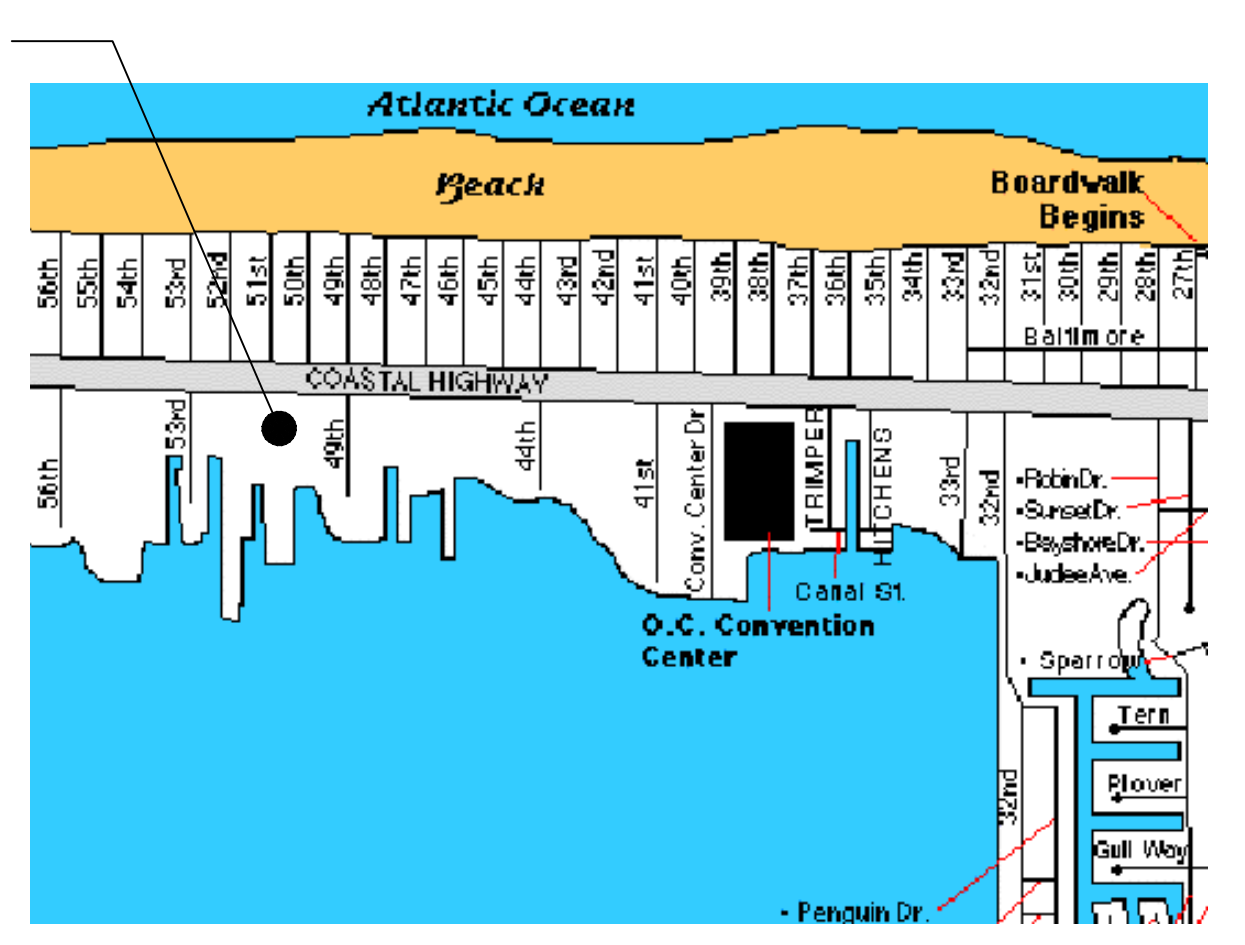
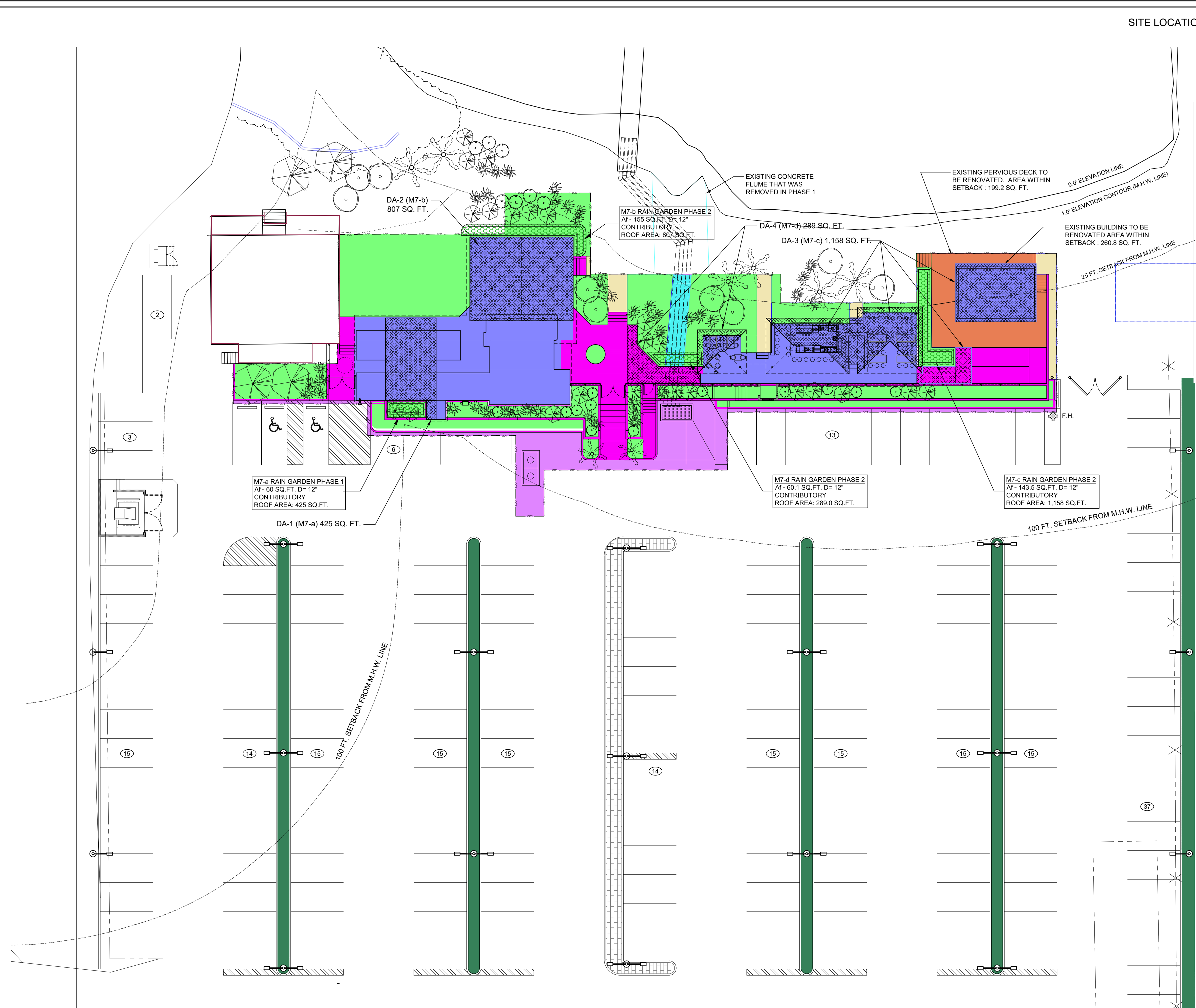
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PHASE 2 - YOUR BEACH
BAY FRONT EVENT VENUE & DINING BEACH
SEACRETS, USA
5003 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
EXISTING AREA TAKEOFFS

DATE: FEB 12, 2024
IOTT PROJ. NO.: 20-062
DESIGN BY: KI
DRAWN BY: KI
SCALE: 1" = 15'
STAGE: APPROVAL
DWG. FILE:

SWM
112



LOCATION MAP
N.T.S.

PROPOSED SITE AREA SUMMARY

PROPOSED LIMITS OF DISTURBANCE = 12,960 ft²
 REQUIRED PLANTABLE AREA = 12,960 x 15% = 1,944 ft²

BUILDINGS	4,269.0 ft ²
IMPERVIOUS PAVEMENT	1,130.2 ft ²
IMPERVIOUS CURBS, WALLS, DECKS, STAIRS AND RAMPS	2,015.6 ft ²
PERVIOUS WALKWAYS (SAND)	336.3 ft ²
PERVIOUS DECKS	601.4 ft ²
PLANTABLE AREA PROVIDED	4,607.5 ft²

TOTAL IMPERVIOUS AREA = 7,414.8 ft²
 PERCENT IMPERVIOUS AREA = 57.2 %
 TOTAL PLANTABLE AREA = 4,607.5 ft² = 35.5 %

CRITICAL AREA SETBACK

TOTAL SITE AREA WITHIN 25 FT. SETBACK =	20,619 ft ²
IMPERVIOUS CONCRETE FLUME WITHIN 25 FT. SETBACK REMOVED AND REPLACED WITH STORMDRAIN OUTFALL PIPES	493.0 ft ²
EXISTING BUILDING TO REMAIN WITHIN 25 FT. SETBACK	260.8 ft ²
EXISTING DECK TO REMAIN WITHIN 25 FT. SETBACK	199.2 ft ²
PERCENTAGE OF IMPERVIOUS AREA WITHIN 25 FT. SETBACK :	15.7 %

PROPOSED AREA TAKEOFFS
SCALE: 1" = 15'

REVISIONS

NO.	DATE	UPDATE LOD	REMARKS
1	4-05-2024		
2	4-21-2024		LABEL E.S.D. DRAINAGE AREAS

CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR REVIEWED BY A LICENSED ARCHITECT UNDER THE JURISDICTION OF THE STATE OF MARYLAND.
 REGISTERED PROFESSIONAL ENGINEER
 EXPIRATION DATE: MARCH 25, 2024

ARCHITECTURE
ENGINEERING
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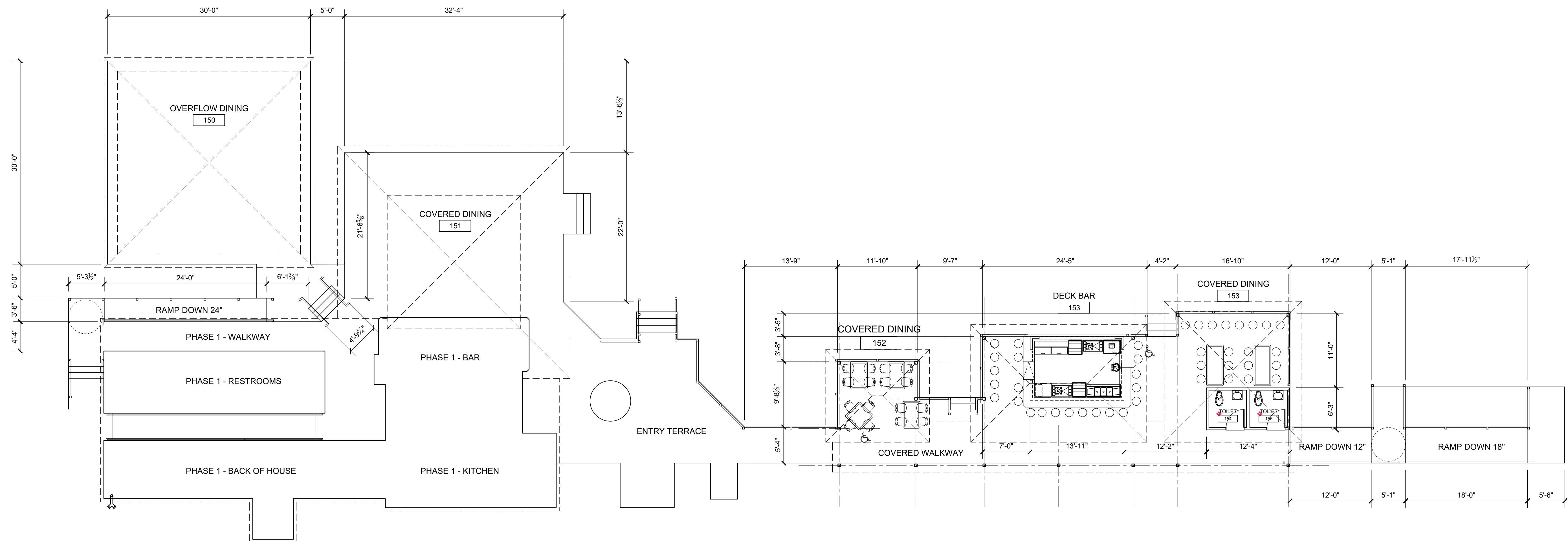
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PHASE 2 - YOUR BEACH
BAY FRONT EVENT VENUE & DINING BEACH
SEACRETS, USA
5003 COASTAL HIGHWAY
OCEAN CITY, MARYLAND
PROPOSED AREA TAKEOFFS

DATE: FEB 12, 2024
IOTT PROJ. NO.: 20-062
DESIGN BY: KI
DRAWN BY: KI
SCALE: 1"=15'-0"
STAGE: APPROVAL
DWG. FILE:

SWM
113



PHASE 2 - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NO.	DATE	REMARKS

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR REVIEWED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED ARCHITECT UNDER THE PROFESSIONAL ARCHITECTURE ACT OF THE STATE OF MARYLAND.
 PROJECT: SECRETS, USA
 EXPIRATION DATE: MARCH 25, 2024

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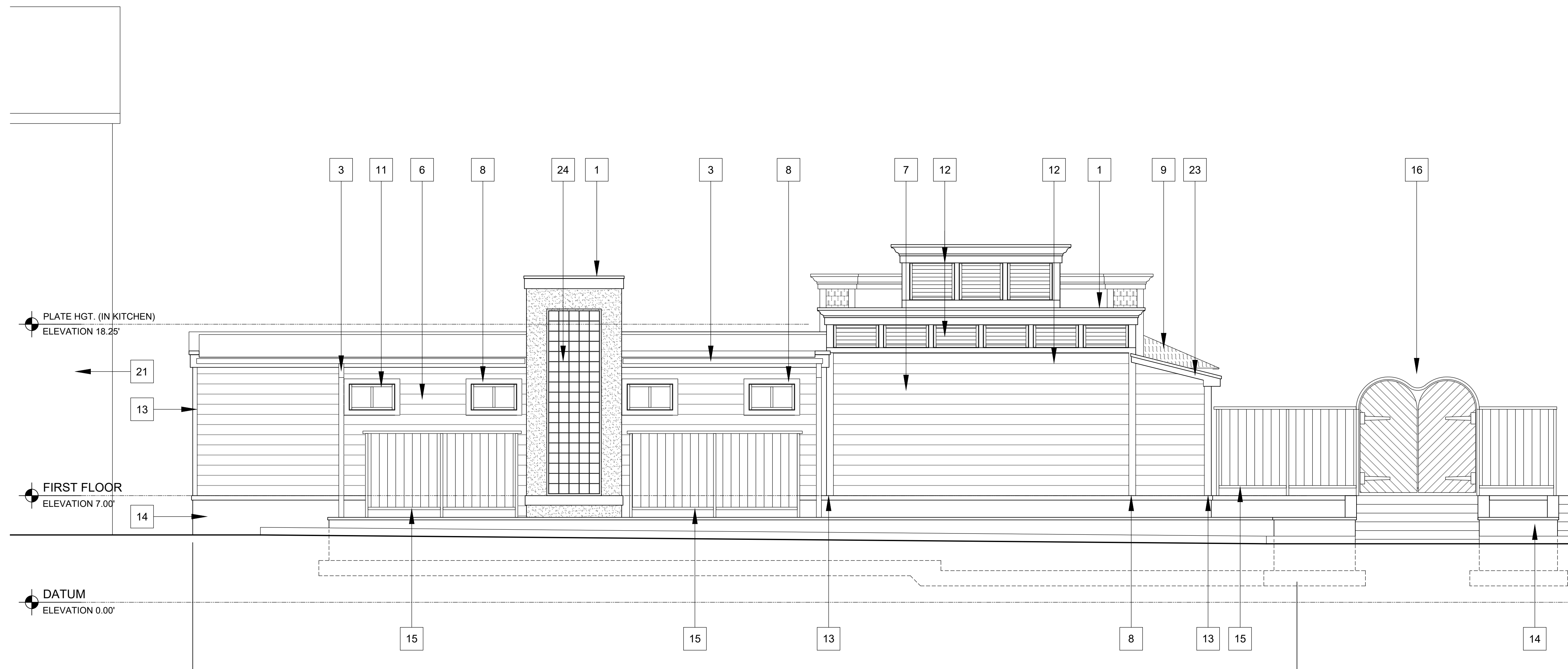
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PHASE 2 - YOUR BEACH
 BAY FRONT EVENT VENUE & DINING BEACH
 SECRETS, USA
 5003 COASTAL HIGHWAY
 OCEAN CITY, MARYLAND

PHASE 2 FIRST FLOOR PLAN AND NOTES

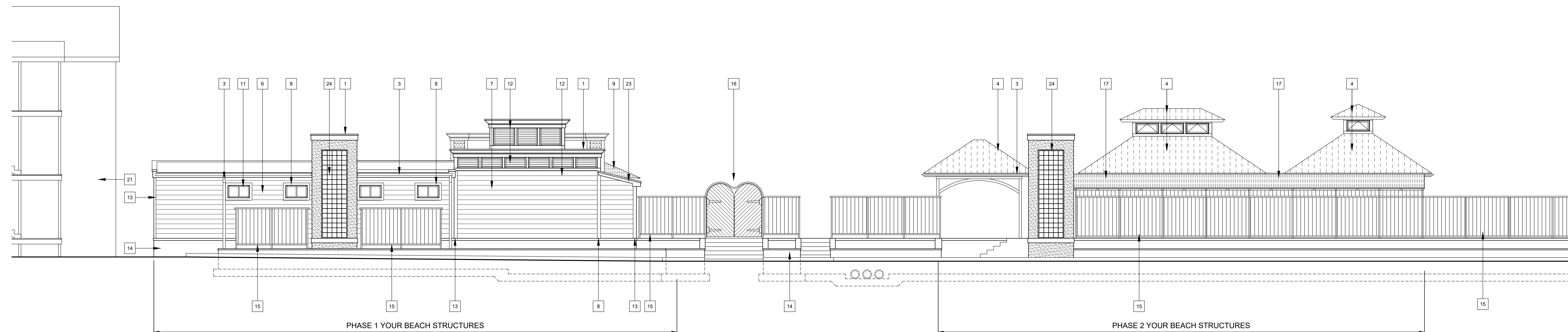
DATE: FEB. 12, 2024
IOTT PROJ. NO.: 20-062
DESIGN BY: KI
DRAWN BY: KI
SCALE: 1/4" = 1'-0"
STAGE: APPROVAL
DWG. FILE: 20-062-A112

A
112



ENLARGED EAST (FRONT) ELEVATION

SCALE: 1/4" = 1'-0"



OVERALL EAST (FRONT) ELEVATION

NOT TO SCALE

ELEVATION KEYNOTE LEGEND

- 1 ALUMINUM-WRAPPED COPING ASSEMBLY. COLOR TO BE SELECTED BY OWNER.
- 2 PRE-FINISHED SCUPPER AND DOWNSPOUT LEAD INTO BOOT AT GRADE. SEE CIVIL DRAWINGS FOR DRAINAGE TERMINATION.
- 3 PREFINISHED GUTTER AND DOWNSPOUT LEAD INTO BOOT AT GRADE. SEE CIVIL DRAWINGS FOR DRAINAGE TERMINATION.
- 4 STANDING SEAM METAL ROOFING
- 5 VERTICAL FIBERCEMENT SIDING. COLOR SELECTED BY OWNER.
- 6 FIBER CEMENT OR WOOD SIDING 7" EXPOSURE. COLOR SELECTED BY OWNER.
- 7 FIBER CEMENT OR WOOD SHINGLE SIDING. COLOR AS SELECTED BY OWNER.
- 8 1 x 4 COMPOSITE OR WOOD TRIM.
- 9 CANVAS AWNING ON ALUMINUM TUBE FRAMING
- 10 GLAZED 2-PANEL FIBERGLASS OR WOOD DOOR IN HOLLOW METAL FRAME.
- 11 ALUMINUM STOREFRONT WINDOW. SEE DRAWING A910 FOR SIZE.
- 12 ALUMINUM LOUVER IN ALUMINUM STOREFRONT FRAME.
- 13 SIDING CORNER TRIM.
- 14 FACE BRICK TO BE SUPPLIED FROM OWNER'S STOCK, INSTALLED BY G.C.
- 15 TREADED WOODEN FENCE ON GALVANIZED STEEL FRAMING.
- 16 SHOP-FABRICATED STAINLESS STEEL GATE ASSEMBLY.
- 17 TWIN WALL POLYCARBONATE ROOFING PANELS. DRAIN INTO PARKING LOT PLANTER
- 18 CABLE RAILING ASSEMBLY w/ ALUMINUM POSTS.
- 19 CANTILEVER OF CONCRETE FLOOR SLAB. SEE STRUCTURAL DETAIL 4/S111.
- 20 CMU WALL, PAINT.
- 21 EXISTING BUILDING TO REMAIN.
- 22 EXPOSED CEDAR RAFTER TAILS WITH DECORATIVE OVERHANG DETAILING
- 23 ALUMINUM-WRAPPED RAKE TRIM.
- 24 BLUE TINTED GLASS BLOCK WALL. BACK-ILLUMINATED

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR REVIEWED BY ME, A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
 SIGNATURE: [Signature] DATE: [Date]
 EXPIRATION DATE: MARCH 25, 2024

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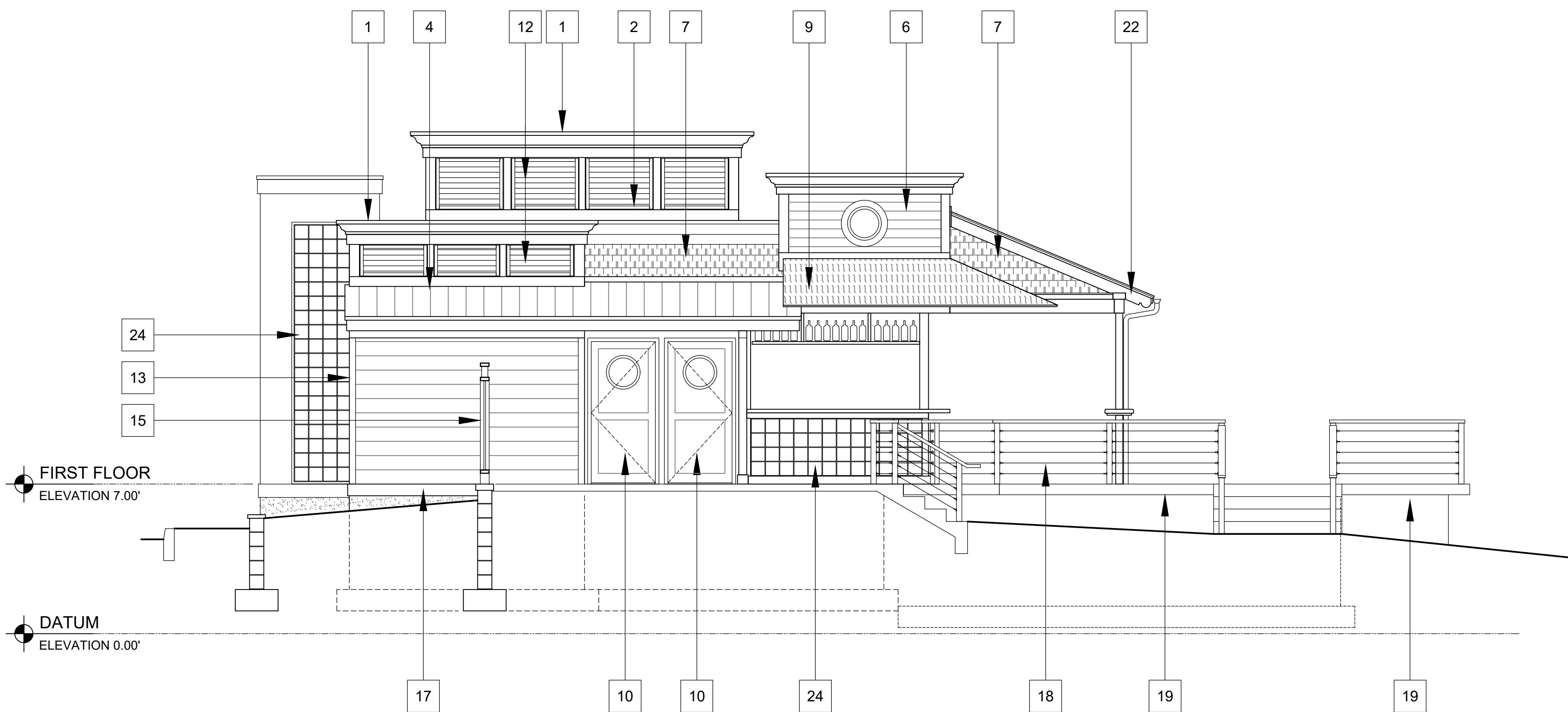
PHASE 2 - YOUR BEACH
BAY FRONT EVENT VENUE & DINING BEACH
 SEACRETS, USA
 5003 COASTAL HIGHWAY
 OCEAN CITY, MARYLAND
 OVERALL AND ENLARGED EAST ELEVATION

DATE: FEB. 12, 2024
 IOTT PROJ. NO.: 20-062
 DESIGN BY: KI
 DRAWN BY: M.S.
 SCALE: AS NOTED
 STAGE: APPROVAL
 DWG. FILE: 20-062-A310

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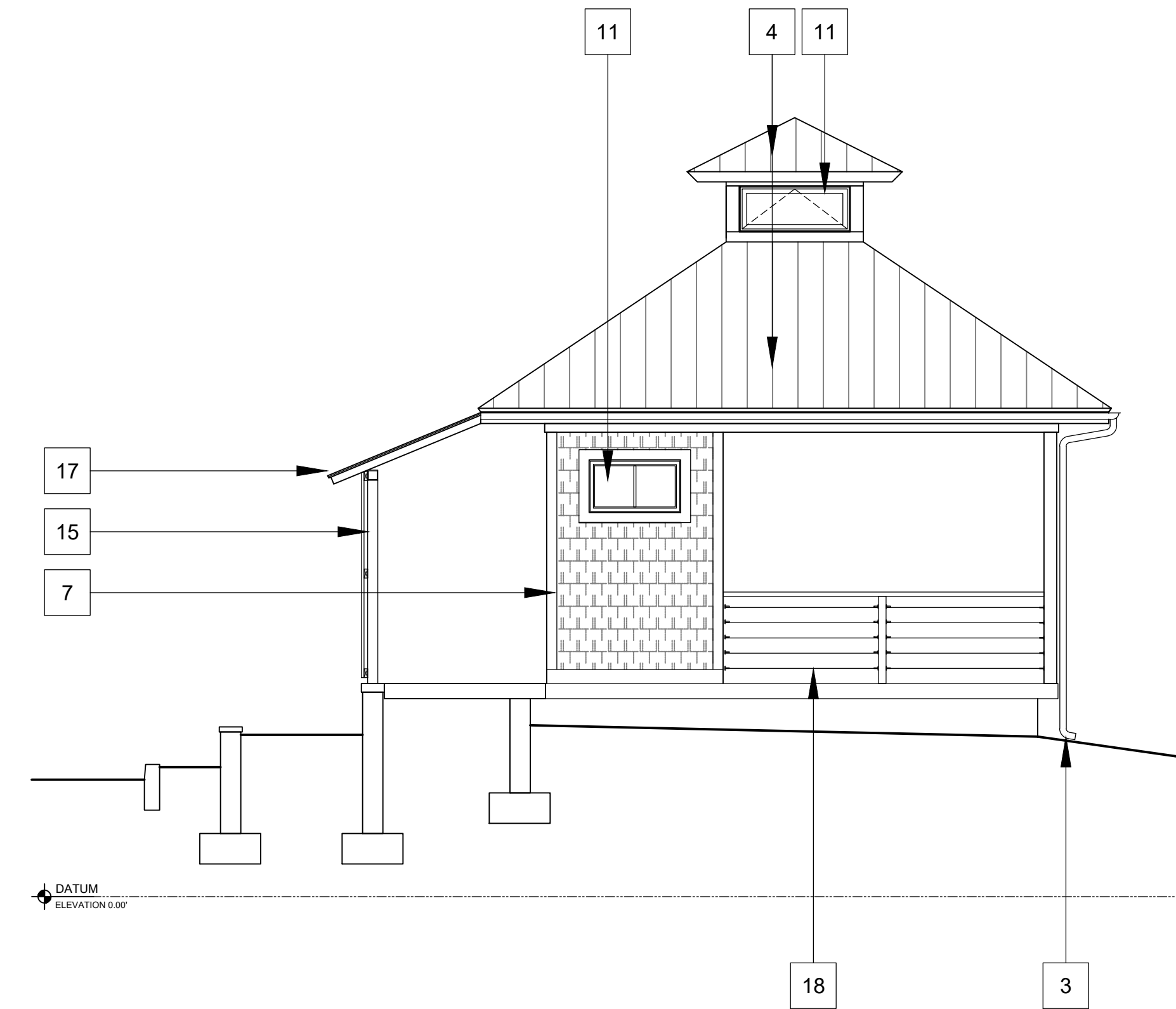
ELEVATION KEYNOTE LEGEND

1	ALUMINUM-WRAPPED COPING ASSEMBLY. COLOR TO BE SELECTED BY OWNER.	13	SIDING CORNER TRIM.
2	PRE-FINISHED SCUPPER AND DOWNSPOUT LEAD INTO BOOT AT GRADE. SEE CIVIL DRAWINGS FOR DRAINAGE TERMINATION.	14	FACE BRICK TO BE SUPPLIED FROM OWNER'S STOCK, INSTALLED BY G.C.
3	PREFINISHED GUTTER AND DOWNSPOUT LEAD INTO BOOT AT GRADE. SEE CIVIL DRAWINGS FOR DRAINAGE TERMINATION.	15	TREADED WOODEN FENCE ON GALVANIZED STEEL FRAMING.
4	STANDING SEAM METAL ROOFING	16	SHOP-FABRICATED STAINLESS STEEL GATE ASSEMBLY.
5	VERTICAL FIBERCEMENT SIDING. COLOR SELECTED BY OWNER.	17	TWIN WALL POLYCARBONATE ROOFING PANELS. DRAIN INTO PARKING LOT PLANTER
6	FIBER CEMENT OR WOOD SIDING 7" EXPOSURE. COLOR SELECTED BY OWNER.	18	CABLE RAILING ASSEMBLY w/ ALUMINUM POSTS.
7	FIBER CEMENT OR WOOD SHINGLE SIDING. COLOR AS SELECTED BY OWNER.	19	CANTILEVER OF CONCRETE FLOOR SLAB. SEE STRUCTURAL DETAIL 4/S111.
8	1 x 4 COMPOSITE OR WOOD TRIM.	20	CMU WALL, PAINT.
9	CANVAS AWNING ON ALUMINUM TUBE FRAMING	21	EXISTING BUILDING TO REMAIN.
10	GLAZED 2-PANEL FIBERGLASS OR WOOD DOOR IN HOLLOW METAL FRAME.	22	EXPOSED CEDAR RAFTER TAILS WITH DECORATIVE OVERHANG DETAILING
11	ALUMINUM STOREFRONT WINDOW. SEE DRAWING A910 FOR SIZE.	23	ALUMINUM-WRAPPED RAKE TRIM.
12	ALUMINUM LOUVER IN ALUMINUM STOREFRONT FRAME.	24	BLUE TINTED GLASS BLOCK WALL, BACK-ILLUMINATED



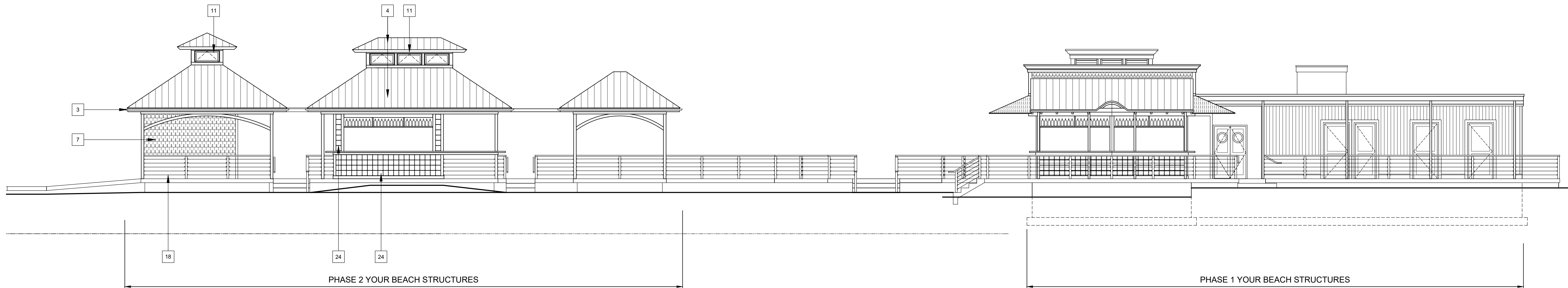
NORTH (RIGHT SIDE) ELEVATION - PHASE 1 MAIN STRUCTURE

SCALE 1/4" = 1'-0"



NORTH (RIGHT SIDE) ELEVATION - PHASE 2 STRUCTURES

SCALE 1/4" = 1'-0"



OVERALL WEST (REAR) ELEVATION

NOT TO SCALE

APPLICANT EXHIBIT #17

REVISIONS	
NO.	DATE

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PHASE 2 - YOUR BEACH
BAY FRONT EVENT VENUE & DINING BEACH
 SEACRETS, USA
 5003 COASTAL HIGHWAY
 OCEAN CITY, MARYLAND
 SOUTH, WEST, AND NORTH ELEVATIONS

DATE: FEB. 12, 2024
 IOTT PROJ. NO.: 20-062
 DESIGN BY: KI
 DRAWN BY: M.S.
 SCALE: 1/4" = 1'-0"
 STAGE: APPROVAL
 DWG. FILE: 20-062-A310

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